



CITY OF CLEVELAND
Mayor Justin M. Bibb

2024 City of Cleveland

Landmarks Commission

February 13, 2025

Julie Trott, Commission Chair
Daniel Musson, Secretary





CITY OF CLEVELAND
Mayor Justin M. Bibb

Certificates of Appropriateness

February 13, 2025



Case 24-014

Certificate of Appropriateness

Market Square Historic District

Previously Approved
January 9th, 2025

Carriage Company
2168 West 25th Street

Renovations

Project Representatives: Joseph Del Re, MRN Ltd.

Ward 3: Councilmember McCormack



Carriage Co.



REDEVELOPMENT OF THE HISTORIC

THE RAUCH & LANG CARRIAGE COMPANY BUILDING - 2168 W. 25th STREET - CLEVELAND, OHIO

GROSS BUILDING AREA SUMMARY:

	EXISTING (S.F.)	PROPOSED (S.F.)
FOURTH	41,012	41,311
THIRD	41,012	41,692
SECOND	69,463	68,044
FIRST	90,547	83,399
BASEMENT	7,666	7,666
TOTAL	249,700	239,089



PREPARED FOR:



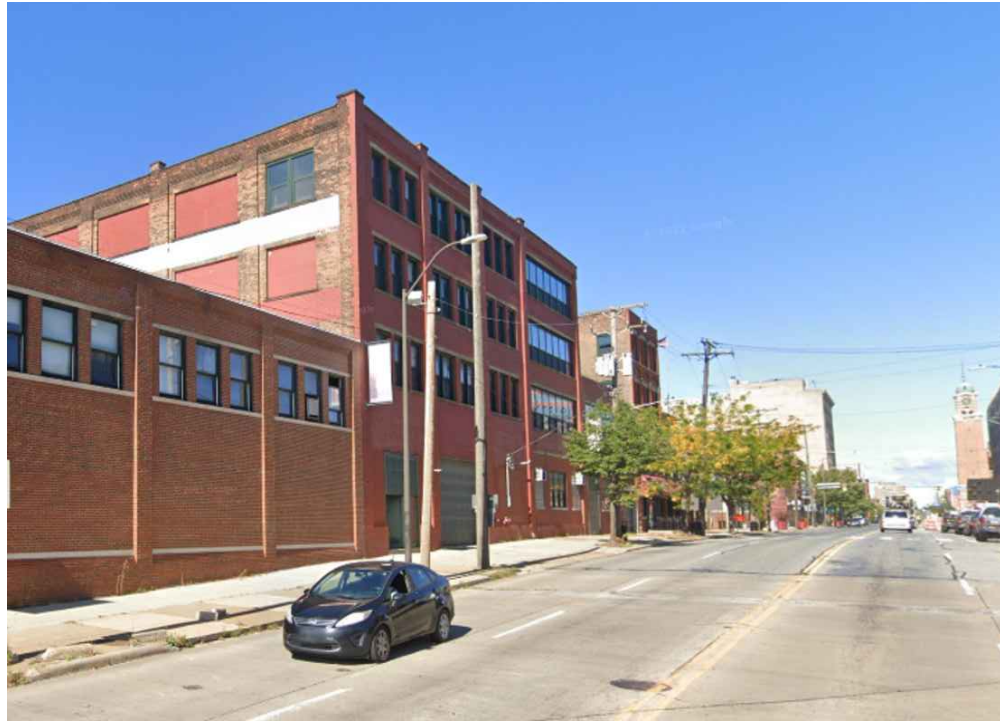
MRN LTD.
629 Euclid Avenue - Suite 1100
Cleveland, Ohio 44114

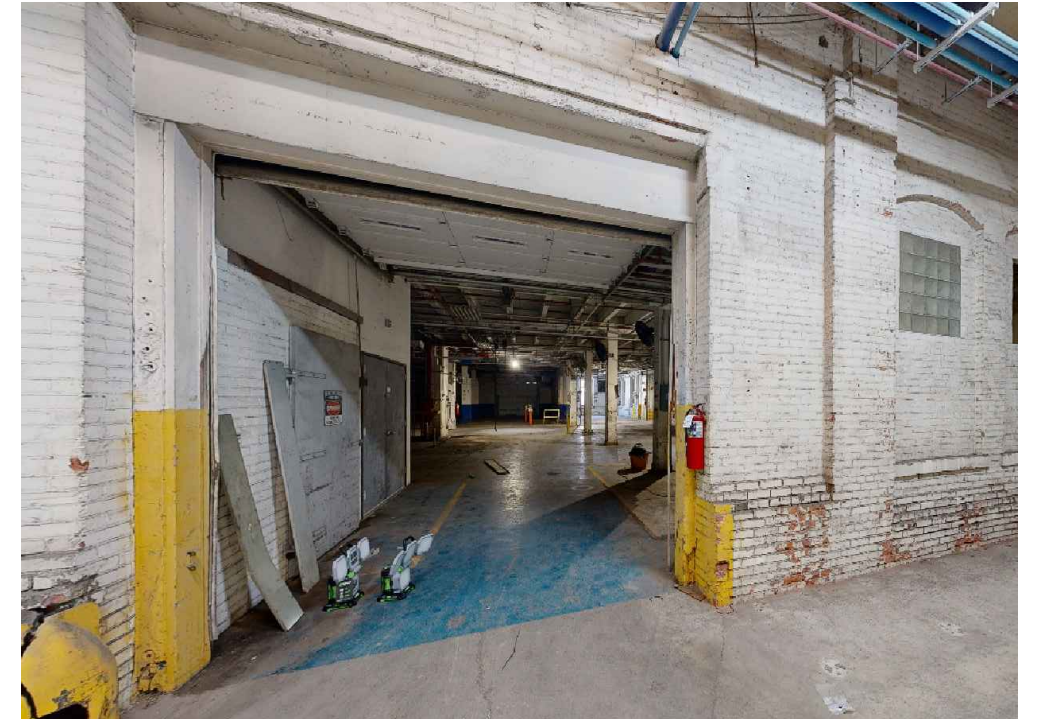
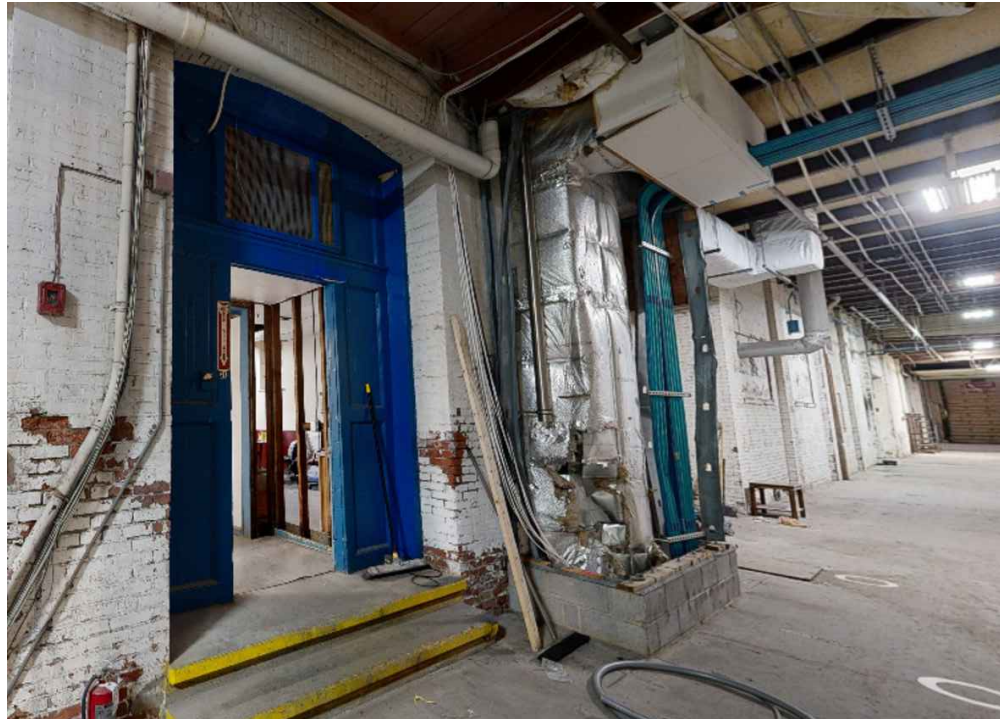
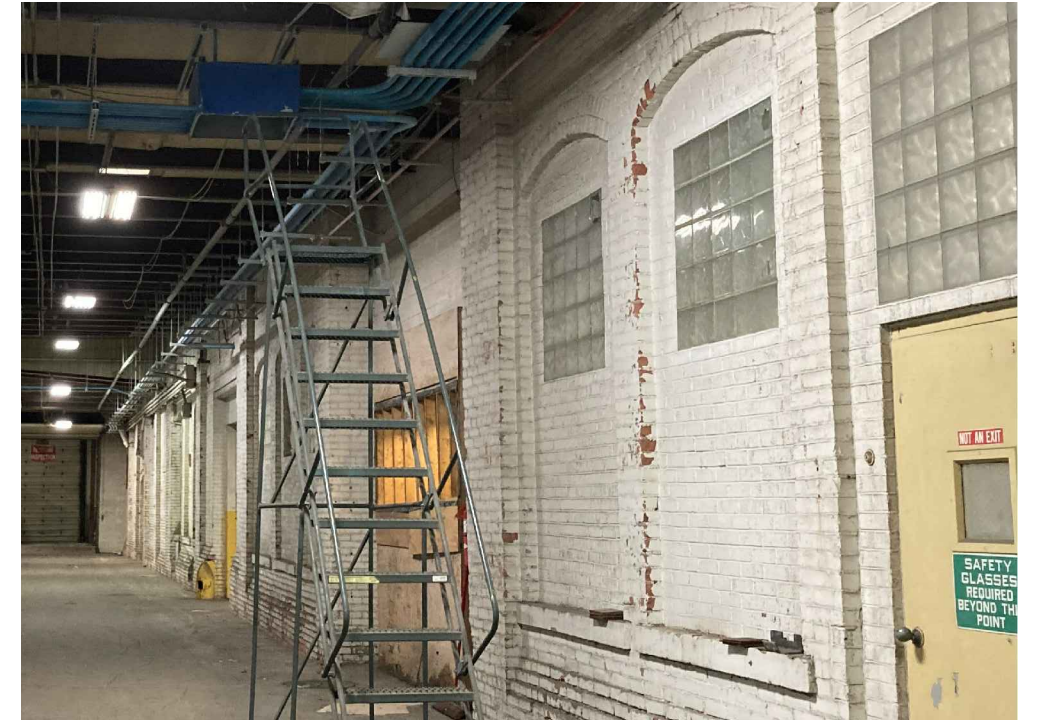
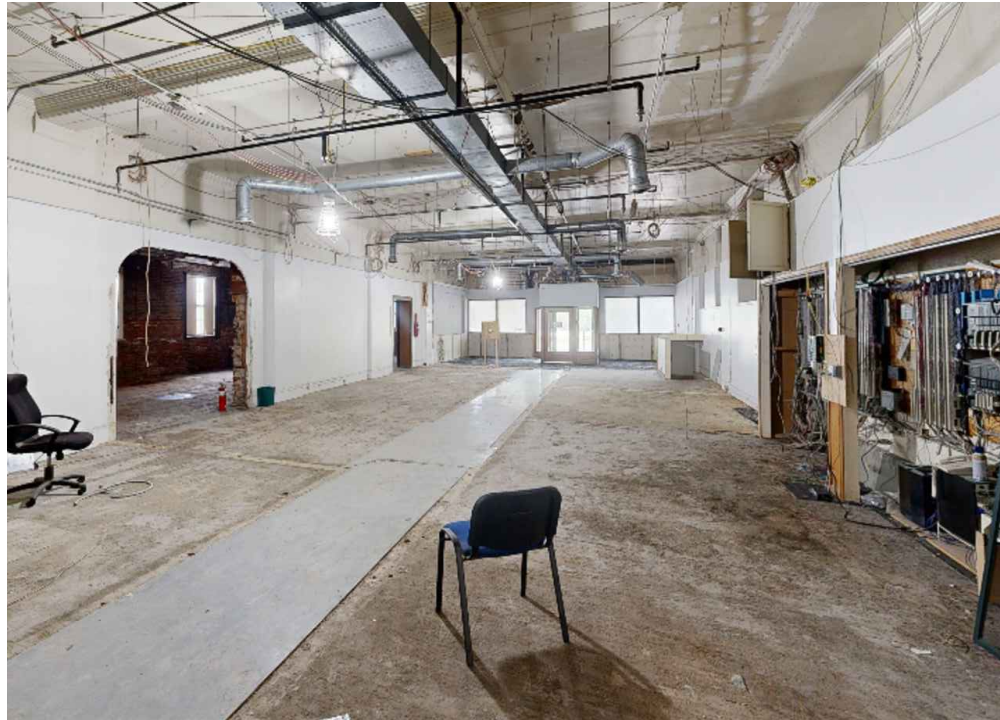
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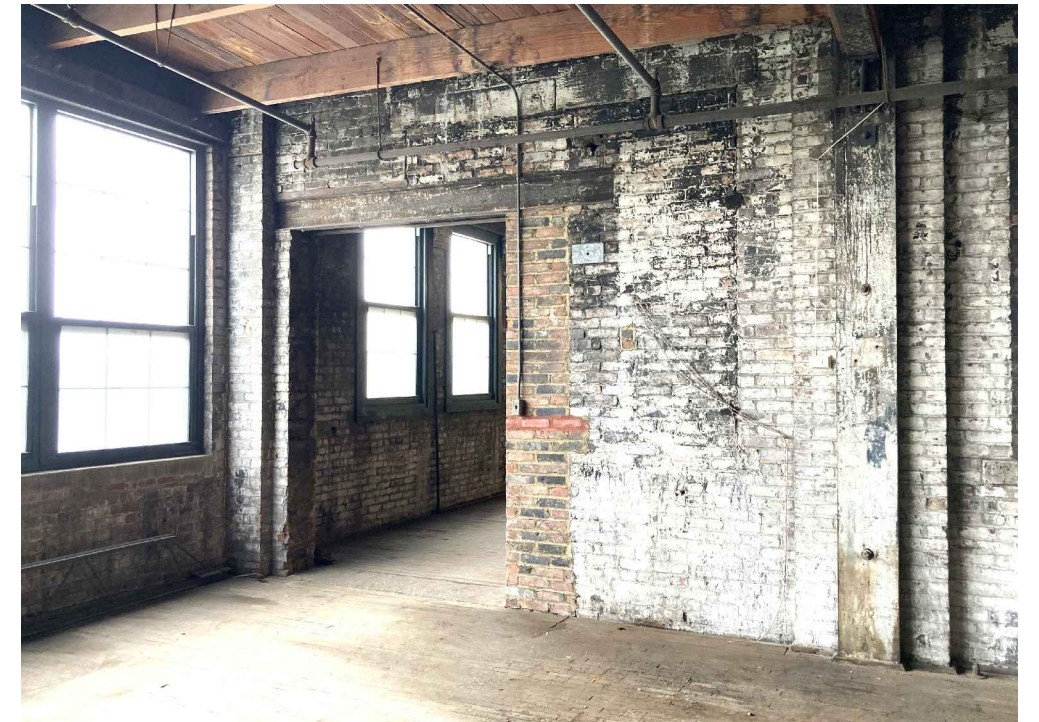
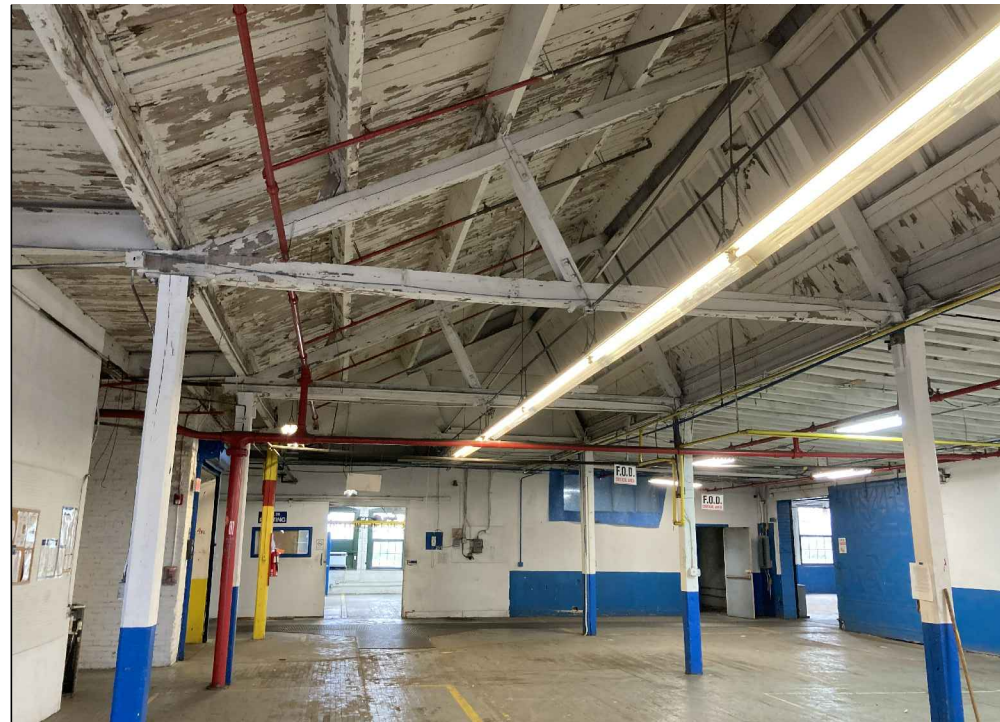


SA GROUP LLC
1320 Summer Avenue
Cleveland, Ohio 44115

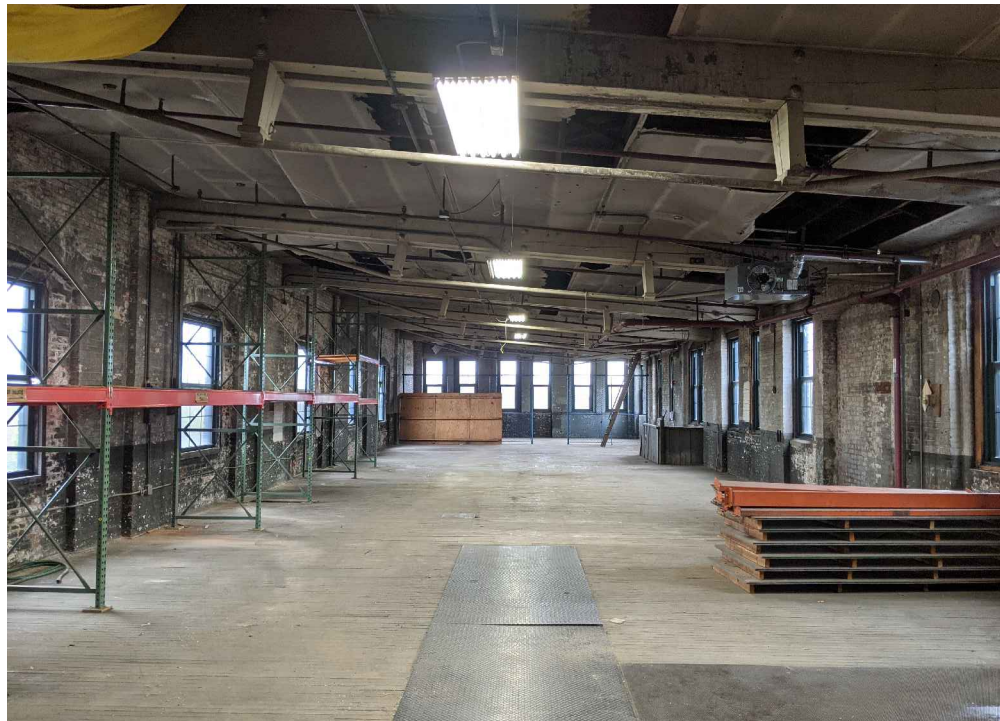


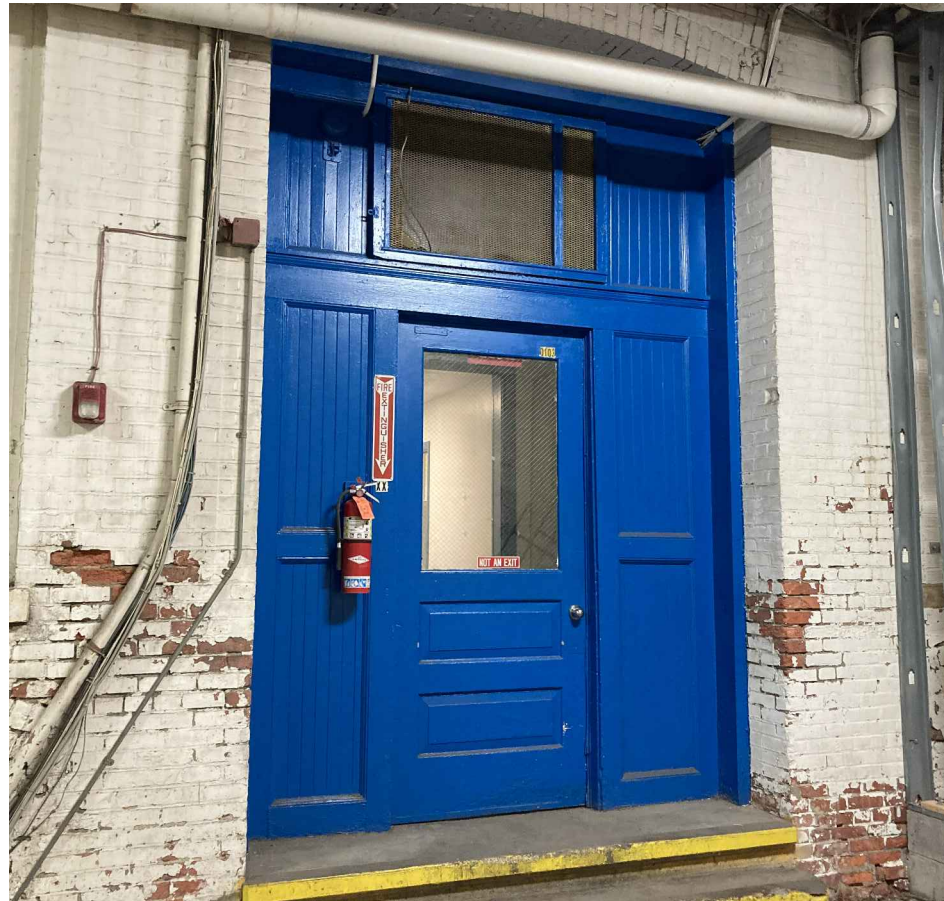






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EXISTING

7

6

5

4

2

1



EXISTING ELEVATIONS

APPROVED

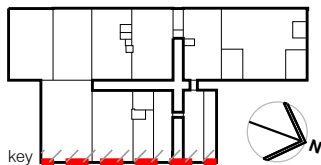


APPROVED ELEVATIONS 02/28/2023

PROPOSED



PROPOSED ELEVATIONS 11/21/2024



2168 W. 25th Street Cleveland, Ohio

EXPLANATORY DOCUMENT
EXTERIOR ELEVATIONS - EAST OVERALL

February 28, 2023
REVISED: November 21, 2024

HPCA
Amendment No.1

A 5.0a

SCALE: 1" = 30'-0"



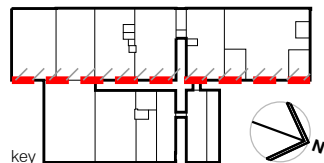
EXISTING ELEVATIONS



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2168 W. 25th Street Cleveland, Ohio

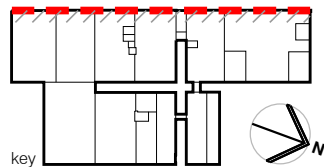
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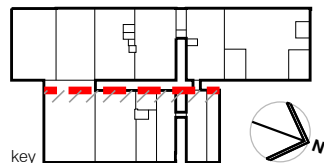


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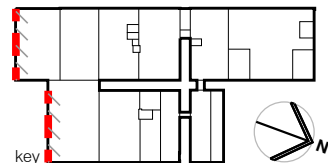


APPROVED ELEVATIONS 02/28/2023

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2168 W. 25th Street Cleveland, Ohio

EXPLANATORY DOCUMENT
EXTERIOR ELEVATIONS - SOUTH OVERALL

February 28, 2023
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SCALE: 1" = 30'-0"

HPCA
Amendment No.1

A 7.0a

EXISTING



EXISTING ELEVATIONS

APPROVED

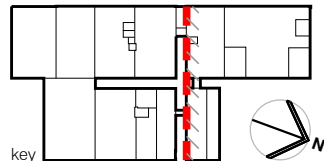


APPROVED ELEVATIONS 02/28/2023

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2168 W. 25th Street Cleveland, Ohio

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EXTERIOR ELEVATIONS - SOUTH OVERALL

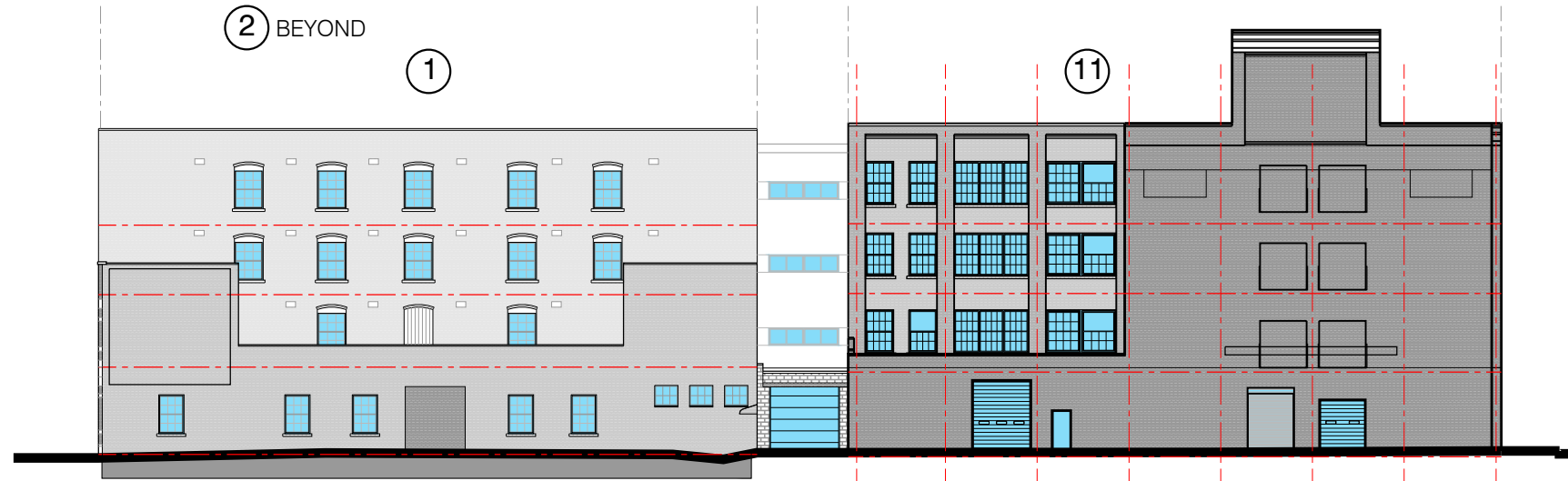
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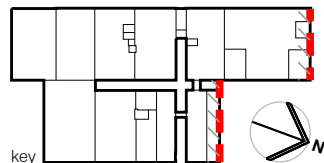


APPROVED ELEVATIONS 02/28/2023

 PROPOSED



PROPOSED ELEVATIONS 11/21/2024



2168 W. 25th Street Cleveland, Ohio

EXPLANATORY DOCUMENT
EXTERIOR ELEVATIONS - NORTH OVERALL

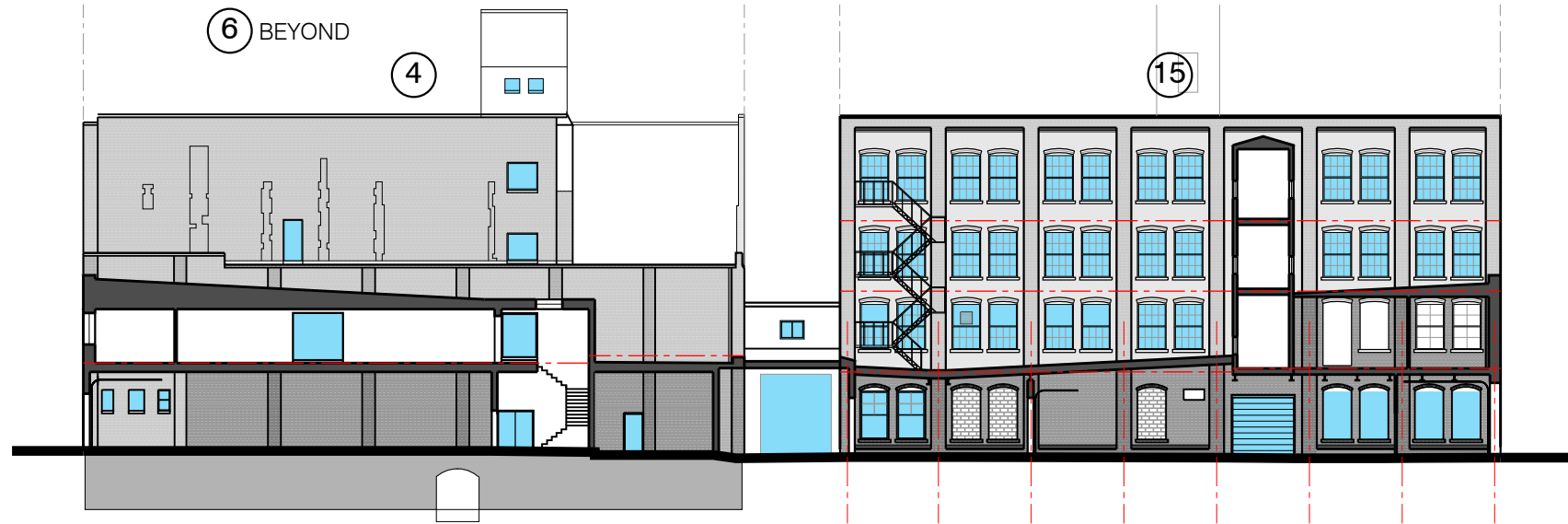
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EXISTING



EXISTING ELEVATIONS

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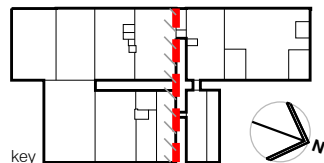


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2168 W. 25th Street Cleveland, Ohio

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EXTERIOR ELEVATIONS - NORTH OVERALL February 28, 2023
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A 8.0b

WINDOW LEGEND (MASONRY)								
#	OPERATION	WINDOW KEY NOTE	SIZE		UNITS	ARCHED	QUANTITY	NOTES
			W	H				
1A	SINGLE HUNG	1	4'-10"	7'-0"	SINGLE	Y	3	UPPER SASH
1B	SINGLE HUNG	1	12'-1 1/2"	7'-9 1/2"	PAIR MULLED	N	2	UPPER RIGHT SASH
1C	SINGLE HUNG	1	4'-10 1/2"	8'-11 1/4"	SINGLE	N	1	UPPER SASH
1D	SINGLE HUNG	1	12'-1 1/2"	8'-11 1/4"	PAIR MULLED	N	1	UPPER RIGHT SASH
1E	SINGLE HUNG	1	15'-3"	7'-9 1/2"	TRIO MULLED	N	1	UPPER RIGHT SASH
1F	SINGLE HUNG	1	4'-4"	7'-0"	SINGLE	Y	2	BOTH SASHES
1G	SINGLE HUNG	1	4'-4"	7'-0"	SINGLE	Y	2	LOWER SASH
1H	SINGLE HUNG	1	3'-10"	9'-2"	SINGLE	Y	1	UPPER SASH
1I	SINGLE HUNG	1	4'-2"	7'-9 1/2"	SINGLE	N	1	UPPER SASH
1J	SINGLE HUNG	1	4'-0"	9'-2"	SINGLE	N	1	UPPER SASH
1K	SINGLE HUNG	1	4'-1"	9'-2"	SINGLE	N	1	UPPER SASH
1L	SINGLE HUNG	1	4'-1"	9'-2"	SINGLE	N	1	LOWER SASH
1M	SINGLE HUNG	1	4'-10"	8'-3"	SINGLE	Y	1	LOWER SASH
1N	SINGLE HUNG	1	4'-10"	8'-3"	SINGLE	Y	3	UPPER SASH
1O	SINGLE HUNG	1	4'-10"	8'-3"	SINGLE	Y	2	BOTH SASHES
2A	SINGLE HUNG	2	4'-10"	6'-7 3/4"	SINGLE	Y	1	
2B	SINGLE HUNG	2	4'-4"	8'-0"	SINGLE	Y	5	3 SASH WINDOW (LOWEST SASH IS OPERABLE)
2C	SINGLE HUNG	2	4'-4"	9'-2"	SINGLE	Y	6	3 SASH WINDOW (LOWEST SASH IS OPERABLE)
2D	SINGLE HUNG	2	4'-4"	9'-2"	SINGLE	Y	2	
2E	SINGLE HUNG	2	3'-10"	9'-2"	SINGLE	Y	2	
2F	SINGLE HUNG	2	4'-10"	8'-3"	SINGLE	Y	27	
2G	SINGLE HUNG	2	4'-6"	8'-3"	SINGLE	Y	3	
2H	SINGLE HUNG	2	6'-5"	6'-9 1/4"	PAIR MULLED	N	1	
2I	SINGLE HUNG	2	6'-5"	7'-6 3/4"	PAIR MULLED	Y	2	
2J	SINGLE HUNG	2	6'-5"	7'-6 3/4"	PAIR MULLED	Y	1	NORTH PAIR OF SASHES ONLY
2K	SINGLE HUNG	2	6'-5"	9'-8"	PAIR MULLED	Y	1	
2L	SINGLE HUNG	2	3'-10"	6'-10 1/2"	SINGLE	N	12	
2M	SINGLE HUNG	2	7'-8"	6'-10 1/2"	PAIR MULLED	N	2	
2N	SINGLE HUNG	2	4'-6 1/4"	7'-6 3/4"	SINGLE	Y	1	
2O	SINGLE HUNG	2	3'-4"	7'-6 3/4"	SINGLE	Y	4	
2P	SINGLE HUNG	2	6'-8"	7'-6 3/4"	PAIR MULLED	Y	2	
2Q	SINGLE HUNG	2	3'-8 1/4"	7'-6 3/4"	SINGLE	Y	2	
2R	SINGLE HUNG	2	9'-1 1/2"	12'-5 1/4"	PAIR	N	1	PAIR WITH EXISTING FRAMING
2S	SINGLE HUNG	2	7'-8"	5'-8"	SINGLE	N	2	
2T	SINGLE HUNG	2	7'-8"	11'-1 3/4"	SINGLE	N	3	
3A	SINGLE HUNG	3	4'-10"	7'-0"	SINGLE	Y	9	
3B	SINGLE HUNG	3	7'-7"	7'-0"	PAIR MULLED	N	3	
3C	SINGLE HUNG	3	11'-5"	7'-0"	TRIO MULLED	N	10	
3D	SINGLE HUNG	3	4'-10"	8'-4"	SINGLE	Y	8	
4A	FIXED	4	15'-5"	6'-0"	SINGLE	N	2	
4B	FIXED	4	3'-10"	6'-0"	SINGLE	N	1	
5A	DOUBLE HUNG	5	3'-6"	6'-7 3/4"	SINGLE	N	2	
5B	DOUBLE HUNG	5	3'-2"	7'-1 1/4"	SINGLE	N	5	
5C	DOUBLE HUNG	5	3'-2"	4'-8"	SINGLE	N	2	
5D	DOUBLE HUNG	5	3'-4"	4'-8"	SINGLE	N	1	
5E	DOUBLE HUNG	5	3'-8"	4'-8"	SINGLE	N	1	

ADDITIONAL GLAZING UNIT LEGEND								
#	OPERATION	TYPE	SIZE		PLACEMENT	ARCHED	QUANTITY	NOTES
			W	H				
FW-A	FIXED	FIRE	3'-8 1/4"	7'-6 3/4"	INTERIOR	Y	1	
FW-B	FIXED	FIRE	3'-5"	7'-6 3/4"	INTERIOR	Y	2	
FW-C	FIXED	FIRE	3'-5"	7'-1 1/2"	EXTERIOR	Y	1	
FW-D	FIXED	FIRE	7'-8"	5'-8"	INTERIOR	N	1	VERTICAL MULLION REQ.
SW-A	FIXED	STORM	4'-6 1/4"	7'-1 1/2"	EXTERIOR	Y	1	
SW-B	FIXED	STORM	3'-8 1/4"	7'-1 1/2"	EXTERIOR	Y	2	
SW-C	FIXED	STORM	6'-8"	7'-1 1/2"	EXTERIOR	Y	1	
SW-D	FIXED	STORM	4'-4"	7'-1 1/2"	EXTERIOR	Y	1	

ADDITIONAL GLAZING TYPES							
FIRE WINDOWS (FW)							
1. FIRE WINDOWS REQUIRED AT BRIDGE AREA BETWEEN BUILDINGS C AND D AS SHOWN.							
2. FIRE WINDOWS TO BE FIRE PROTECTED AS REQUIRED BY CBC 3104.5.1.2 - 3/4 HOUR FIRE PROTECTION RATING.							
3. FRAME TO BE MOUNTED TO MASONRY OPENING PER MANUFACTURER'S STANDARD DETAILS AT EXTERIOR OF EXISTING WINDOWS.							
4. FRAMES TO BE MOUNTED TO MASONRY OPENING PER MANUFACTURER'S STANDARD DETAILS AT EXTERIOR OF EXISTING WINDOWS.							
5. EXISTING WINDOWS TO BE REPAIRED AS REQUIRED INCLUDING FRAME, SASH, AND GLAZING FOR REUSE IN FIXED, CLOSED POSITION. PAINT AND CLEAN PRIOR TO ADDITION OF FIRE WINDOWS TO EXTERIOR.							
STORM WINDOWS (SW)							
1. EXISTING WINDOWS TO BE REPAIRED AS REQUIRED INCLUDING FRAME, SASH, AND GLAZING FOR REUSE IN FIXED, CLOSED POSITION. PAINT AND CLEAN PRIOR TO ADDITION OF STORM WINDOWS TO EXTERIOR.							
2. STORM WINDOWS TO BE ALLED WINDOW "VISIBLE" STORM WINDOWS, ALLIED ONE LITE, (1) PANEL WITH CLEAR STANDARD CLIPS AND STANDARD 1/8" DBS GLAZING OR APPROVED EQUAL.							
3. FRAMING TO ALIGN WITH EXISTING WINDOW FRAMES. COLOR TO MATCH "HARTFORD GREEN".							
4. INSTALLATION PER MANUFACTURER'S STANDARD WRITTEN INSTRUCTIONS.							

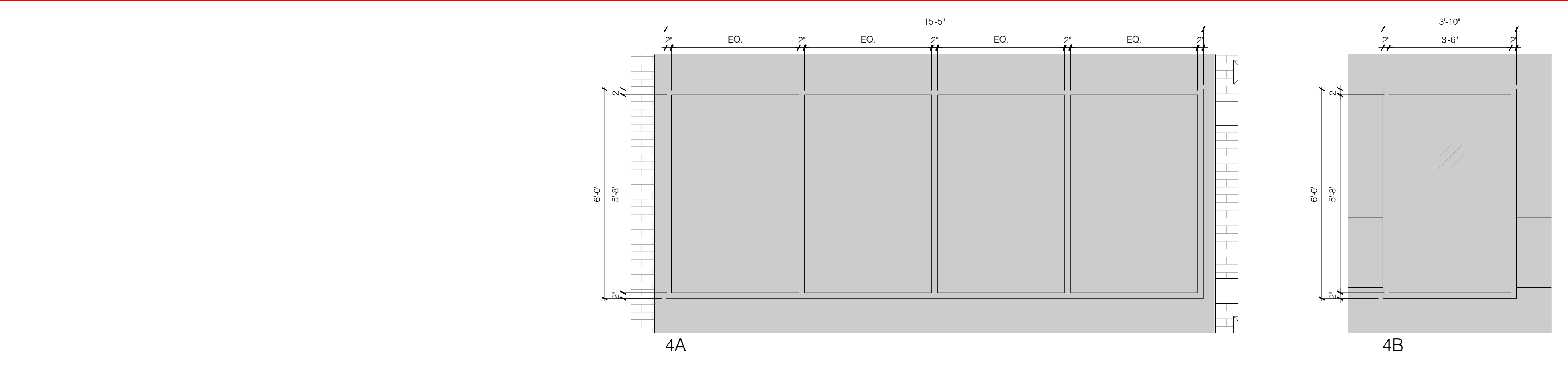
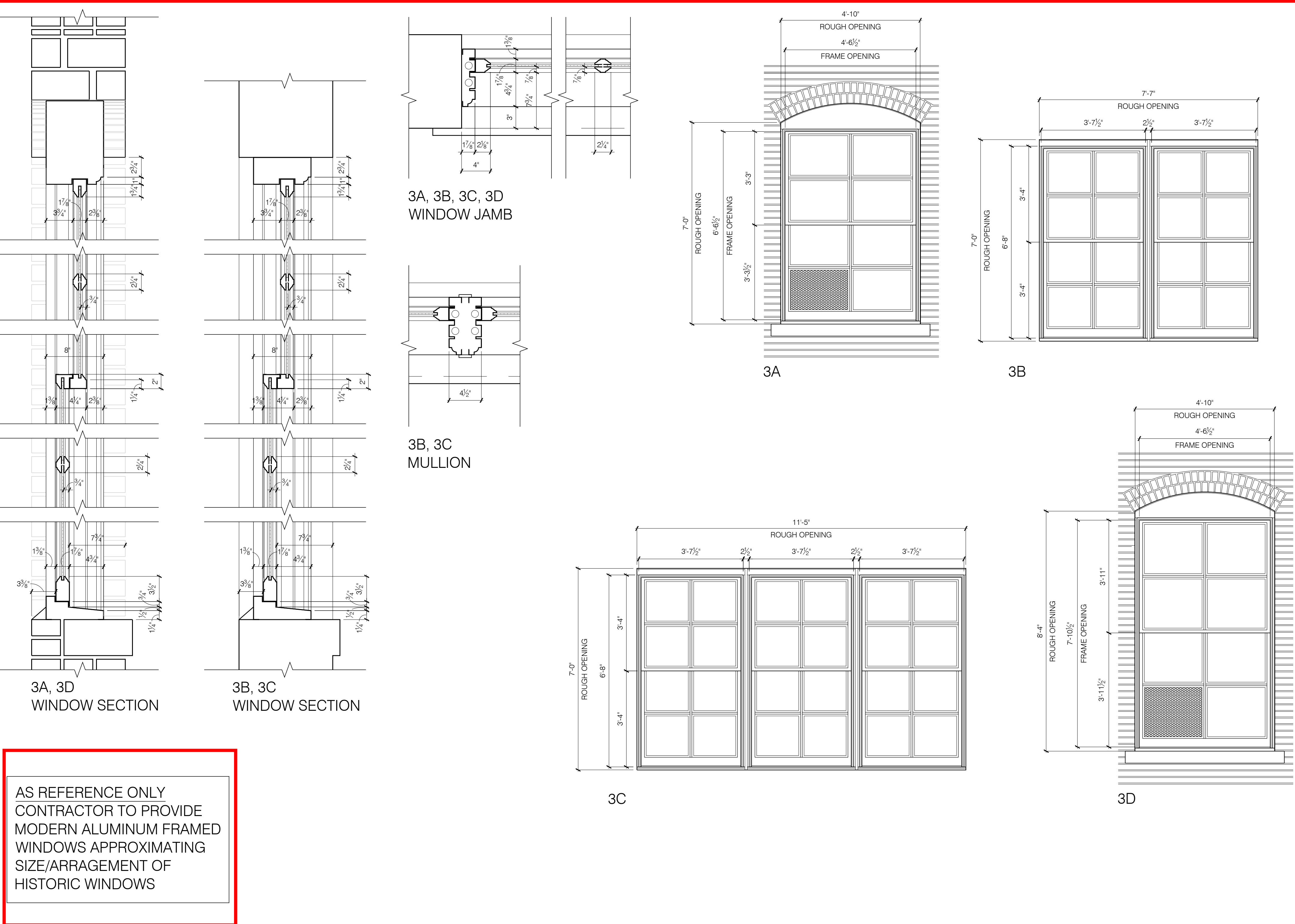
WINDOW KEY NOTE							
1.	NEW EXISTING FRAMES WITH REPLACEMENT SASH(ES)						
2.	NEW WINDOW TO MATCH EXISTING REPLACEMENT WINDOWS						
3.	NEW WINDOW TO MATCH HISTORIC TYPES						
4.	NEW STOREFRONT						
5.	NEW WINDOWS						


GENERAL NOTES							
1.	CONTRACTOR TO VERIFY ALL OPENINGS AND CONDITIONS PRIOR TO ORDERING WINDOWS.						
2.	EXISTING REPLACEMENT WINDOWS ARE: TRACO (NOW KAWNEER) TR-9100 SINGLE HUNG GL-1: 1" INSULATING GLASS CONSISTING OF 1/8" CLEAR TEMPERED 3/4" AIR SPACE AND COLONIAL MUNTINS (MILL FINISH) FINISH IS DURACORN HARTFORD GREEN UC74266 WITH EXTERIOR SET HALF SCREEN ALUMINUM MESH. DARK AND STANDARD SILL SNAP LOCK ULTRA LIFT BALANCES HEAD AND JAMB RECEPTORS/SILLS OR PRESET PANNING/INTERIOR TRIM WINDOWS WERE PROVIDED THROUGH G2 ARCHITECTURAL PRODUCTS LLC, FORT WAYNE, IN.						
3.	NEW OPERABLE WINDOWS AND EXISTING WINDOWS WITH REPLACEMENT SASH(ES), WHERE THE CLEAR OPENING IS LESS THAN 36" ABOVE THE FINISHED FLOOR, AND WHERE THE VERTICAL DISTANCE FROM THE BOTTOM OF THE CLEAR OPENING TO FINISHED GRADE, ROOF, OR DECK BELOW IS GREATER THAN 72", TO BE PROVIDED WITH WINDOW OPENING CONTROL DEVICES COMPLYING WITH ASTM F2090 PER CBC 1015.8 AND CBC 702.4. BASIS OF DESIGN: ANGEL VENTLOCK REVERSE RETROFIT OR APPROVED EQUAL. CONFIRM DEVICE IS COMPATIBLE FOR EACH WINDOW TYPE PRIOR TO ORDERING.						

WINDOW TYPES							
TYPE 1 EXISTING FRAMES WITH REPLACEMENT SASH(ES)							
1. REMOVE EXISTING 1" MAPES-R INSULATED PANELS AND EITHER PROVIDE NEW GLAZING IN EXISTING SASH OR PROVIDE NEW SASH WITH GLASS MATCHING ADJACENT REPLACEMENT WINDOWS.							
TYPE 2 NEW WINDOWS TO MATCH EXISTING REPLACEMENT WINDOWS							
1. IN LOCATIONS NOTED, REMOVE EXISTING CONSTRUCTION IN ORIGINAL MASONRY OPENINGS AND PROVIDE NEW WINDOWS TO MATCH EXISTING REPLACEMENT WINDOWS.							
2. ARRANGEMENT, FINISH, AND DETAILS TO MATCH ADJACENT EXISTING REPLACEMENT WINDOWS.							
TYPE 3 NEW WINDOWS TO MATCH HISTORIC TYPES							
1. IN LOCATIONS DEEMED CRITICAL OR WHEN REPLACING EXISTING HISTORIC WINDOWS AS INDICATED, PROVIDE NEW ALUMINUM FRAMED WINDOWS CLOSELY MATCHING HISTORIC WINDOWS TO MEET NATIONAL PARK SERVICE STANDARDS PER HISTORIC PRESERVATION TAX INCENTIVES.							
2. AREAS OF CRITICAL MATCH ARE: 2.1 WINDOW UNIT PLACEMENT IN RELATION TO WALL PLANE 2.2 WINDOW FRAME SIZE AND SHAPE 2.3 GLASS SIZE AND DIVISIONS 2.4 SASH ELEMENTS, WIDTH, AND DEPTH 2.5 MATERIALS AND FINISH 2.6 GLASS CHARACTERISTICS							
3. MEASUREMENTS AND PROFILES OF HISTORIC WINDOWS (OR A CONJECTURE THEREOF) ARE PROVIDED FOR REFERENCE.							
4. WINDOW SUPPLIER TO PROVIDE ACCURATE SHOP DRAWINGS IN CAD SHOWING CRITICAL DETAILS FOR SUBMISSION TO ARCHITECT AND NPS FOR FINAL SELECTION.							
5. PROVIDE ALUMINUM FRAMED WINDOWS BY KAWNEER (TRACO), WAUSAU, PEERLESS, WOJAN, GRAHAM, OR EQUAL MEETING PROJECT REQUIREMENTS.							
6. NEW WINDOW/GLAZING COMBINATION MEET ENERGY CODE REQUIREMENTS AND BE LABELED FOR VERIFICATION. OPERABLE FENESTRATION: U VALUE: 0.45 SHGC: 0.40							
7. NEW WINDOWS TO BE A COMPLETE PACKAGE INCLUDING ALL ACCESSORIES, TRIMS, AND SEALANT.							

TYPE 4 NEW STOREFRONT							
1.	NEW STOREFRONT TO BE KAWNEER 451-T CENTER GLAZED ALUMINUM FRAMING OR EQUAL.						
2.	GLAZING TO BE 1" INSULATING GUARDIAN GLASS SN68, VIRACON VEI-2M OR EQUAL, 1" CLEAR (W/ LOW-E COATING, #2 SURFACE) ARGON FILLED CLEAR GLAZING OR EQUAL.						
3.	NEW STOREFRONT/GLAZING COMBINATION TO MEET ENERGY CODE REQUIREMENTS: OPERABLE FENESTRATION: U VALUE: 0.38 SHGC: 0.40						
4.	ENTRY SYSTEMS TO BE KAWNEER 250T INSULPOUR THERMAL ENTRANCES WITH MATCHING 1" INSULATING GLAZING.						
5.	ENTRY FRAMING/GLAZING COMBINATION TO MEET ENERGY CODE REQUIREMENTS: ENTRANCE DOORS: U VALUE: 0.17 SHGC: 0.40						
NEW WINDOWS TO BE A COMPLETE PACKAGE INCLUDING ALL ACCESSORIES, SCREENS, TRIMS, AND SEALANT.							


SKYLIGHT NOTES							
OVERFRAMING FOR EXISTING SKYLIGHTS							
1. EXISTING SAWTOOTH SKYLIGHTS TO BE REPAIRED/REPLICATED TO MATCH EXISTING. GLASS IS TO BE STRIPPED OF PAINT AND GLAZING COMPOUND IS TO BE REPAIRED. PAINT FRAME/SASH PRIOR TO INSTALLATION OF NEW SKYLIGHT.							
2. NEW EXTERIOR SKYLIGHT OVER EXISTING TO BE VELLUX NORTHLIGHT 25-90 DEGREES. VERTICAL MULLIONS TO ALIGN WITH CENTERLINES OF EXISTING WINDOW SEGMENTS AND EXTEND AT LEAST AS HIGH VERTICALLY.							
3. GLAZING TO BE MANUFACTURER'S STANDARD CLEAR INSULATING UNITS AND SHALL COMPLY WITH CBC 2504 FOR SAFETY GLAZING.							
4. PROVIDE MANUFACTURER'S STANDARD FLASHING AND ACCESSORIES FOR FIXED LIGHT SKYLIGHTS.							
5. SUPPLIER TO PROVIDE FULL SHOP DRAWINGS AND FIELD MEASUREMENTS SHOWING NEW ASSEMBLY IN RELATION TO EXISTING SAWTOOTH SKYLIGHT AND DEFINE ALL LOADS AND ATTACHMENT REQUIREMENTS FOR STRUCTURAL PROVISION/COORDINATION.							






THE CARRIAGE COMPANY
CLIENT CONTACT
HISTORIC RENOVATION
PROJECT NAME
2168 W. 25th ST | Cleveland, Ohio 44113
LOCATION

ARCHITECT OF RECORD




1300 Summer Ave.
Cleveland, Ohio 44115
216.456.4139
www.sagroup.com

M.E.P. ENGINEER




2012 West 25th St, Suite 900
Cleveland, Ohio 44113-1131
Office: (216) 227-8505
whereng.com

CIVIL ENGINEER




10000
Kingsway
Cleveland, Ohio 44115
216.456.4139

LANDSCAPE ARCHITECT



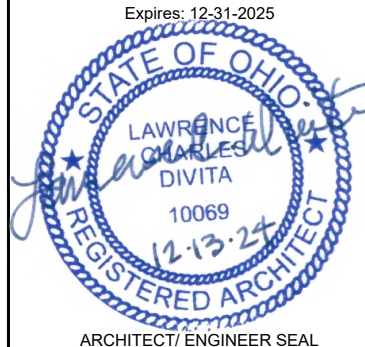
812 Huron Road, E. 4th Cleveland, OH 44115 | 216.466.4335

HISTORIC RESTORATION CONSULTANT

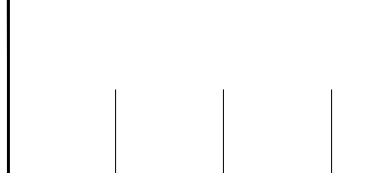


11111
Cleveland, Ohio 44115

ARCHITECT: Lawrence Charles Davis - 10099
Kingsway, Cleveland, Ohio 44115



KEY MAP



W 26th STREET
W 25th STREET

REVISION HISTORY:

NO.	PURPOSE OF ISSUE	DATE
1	ISSUED FOR PERMIT	11-13-24

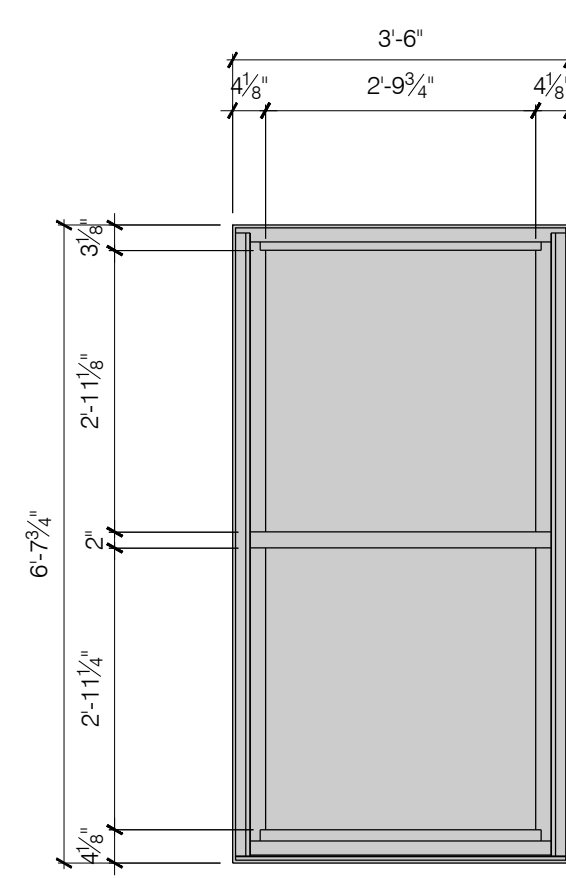
DRAWING TITLE

WINDOWS

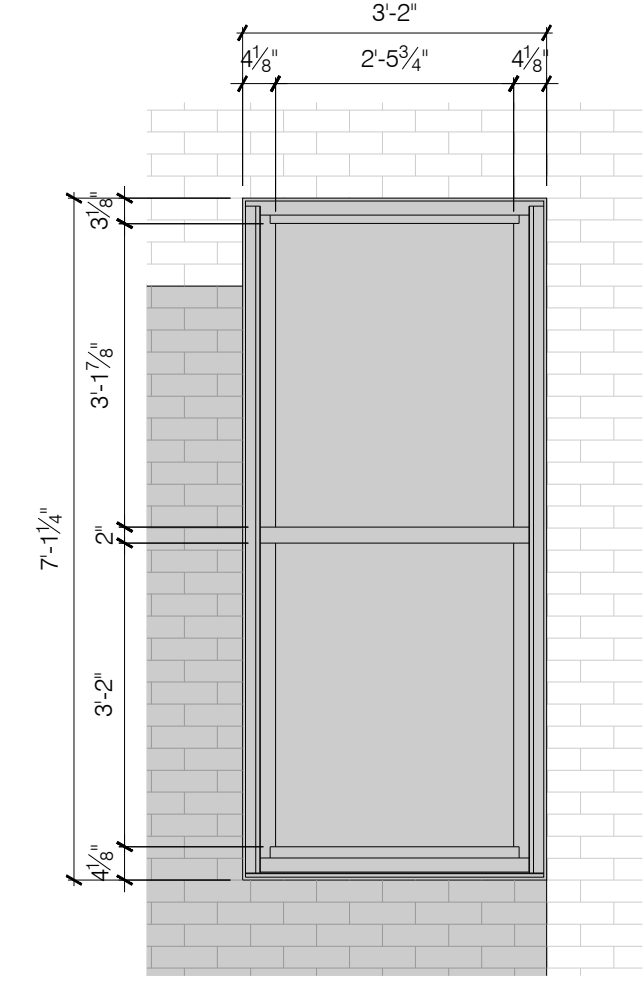
JOB # | DRAWN BY | REVIEWED BY:
22-875 | TS | LD

DRAWING NUMBER

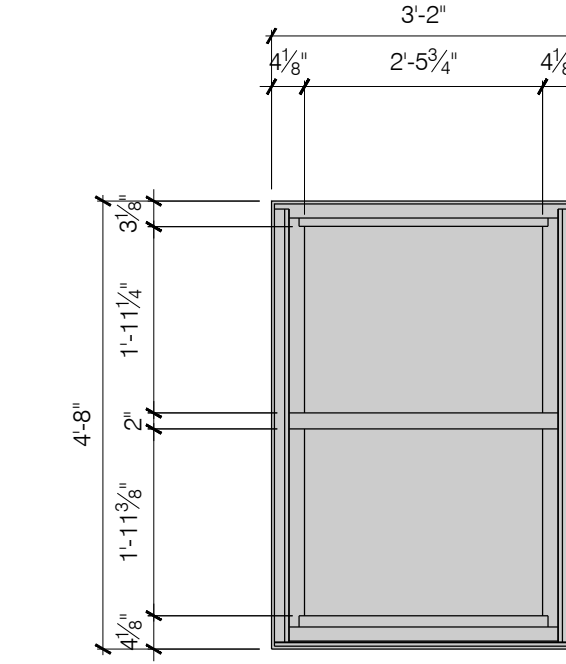
A8.50
ISSUE
A



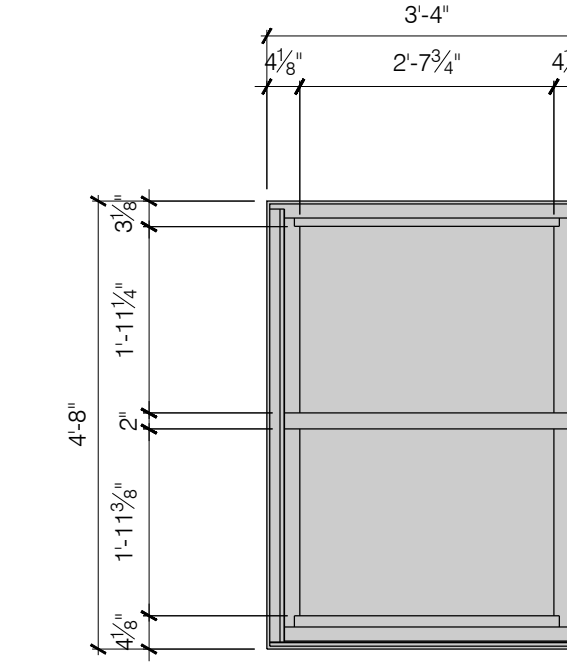
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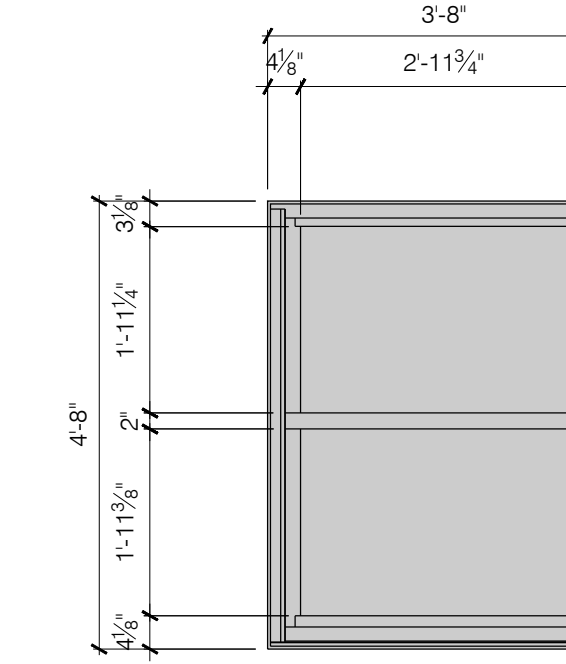
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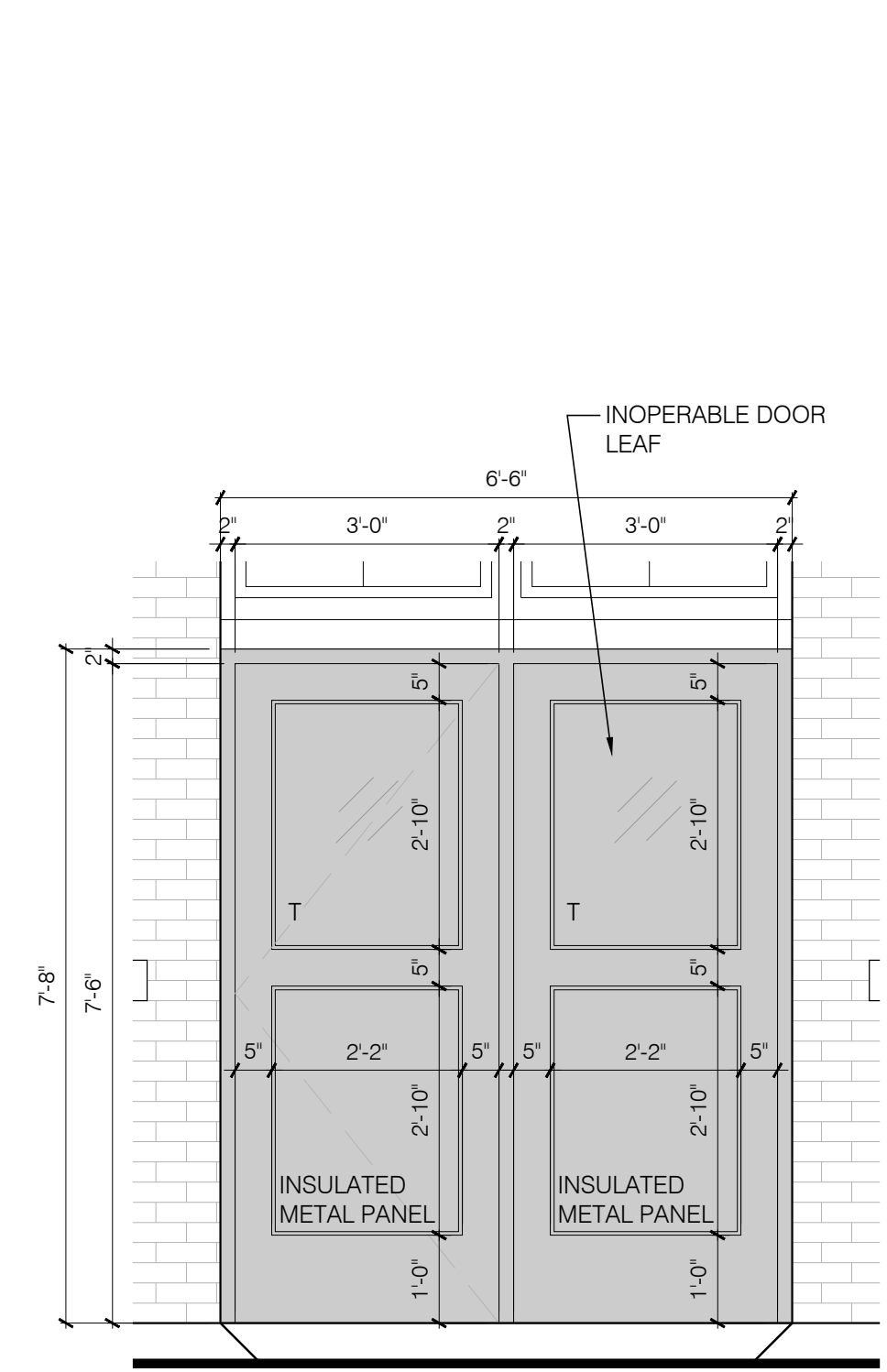
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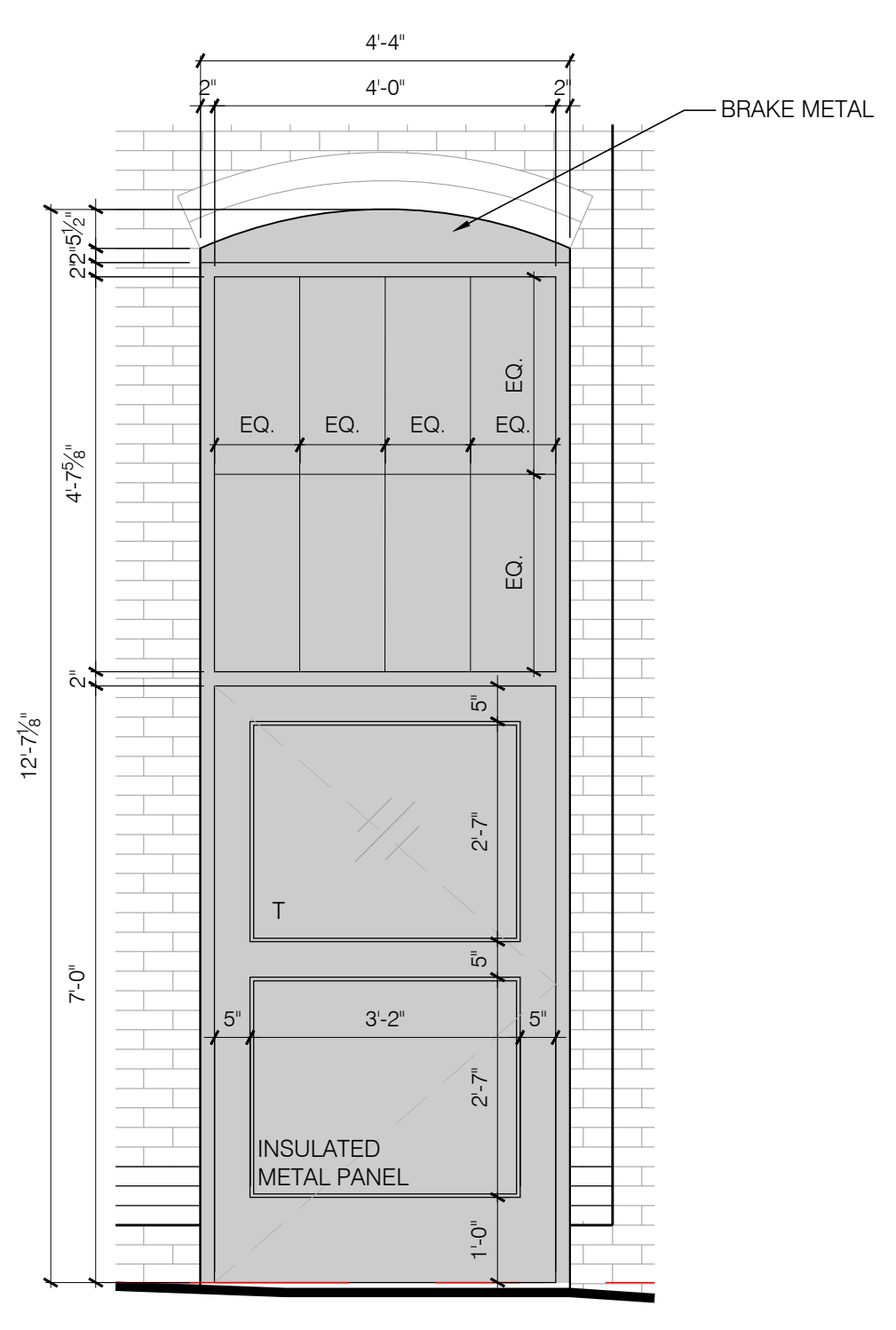
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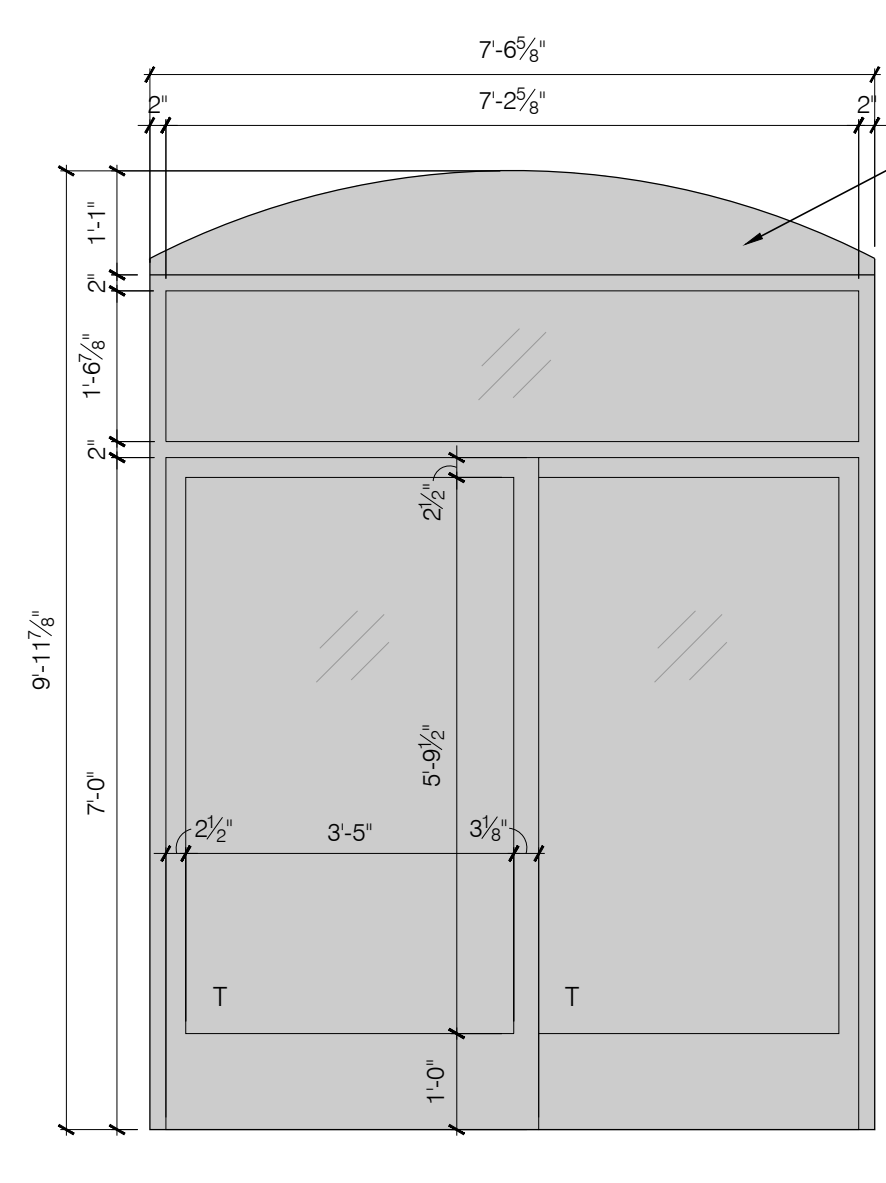
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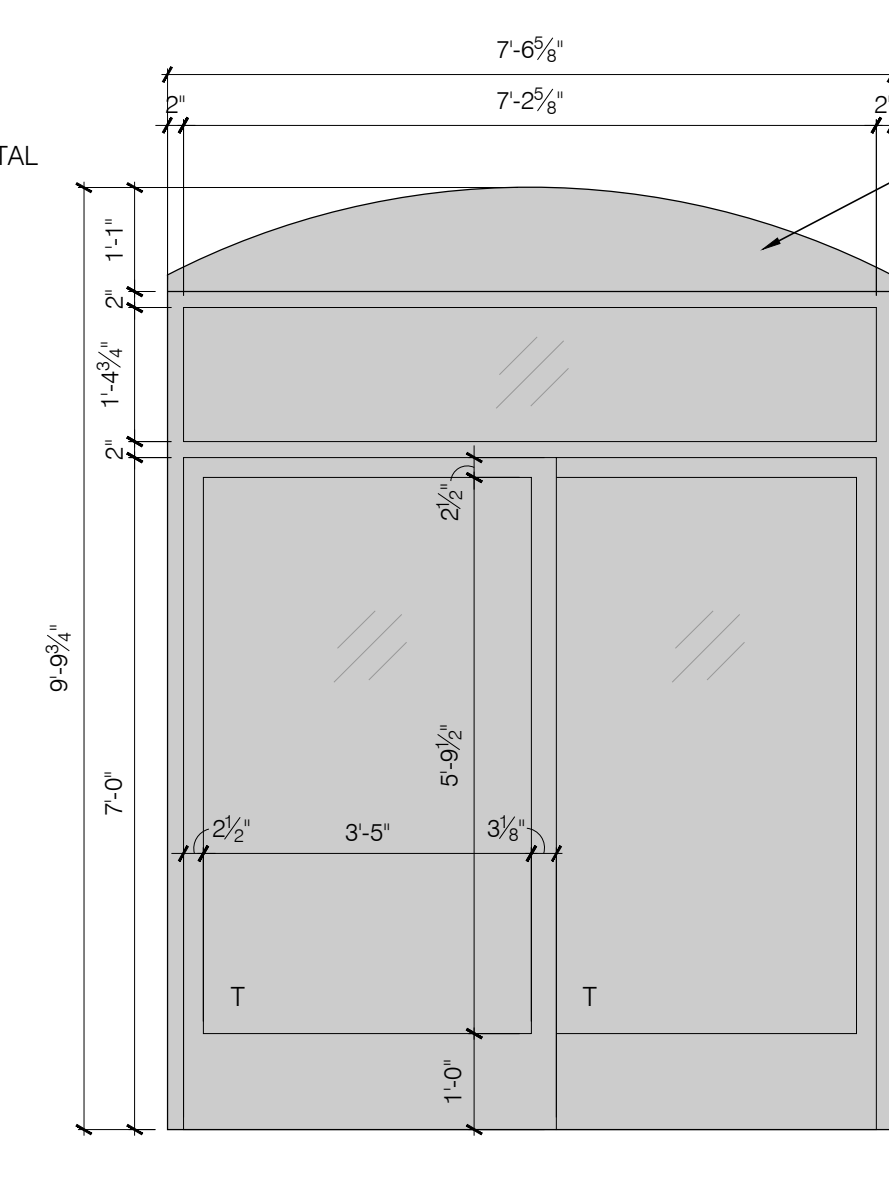
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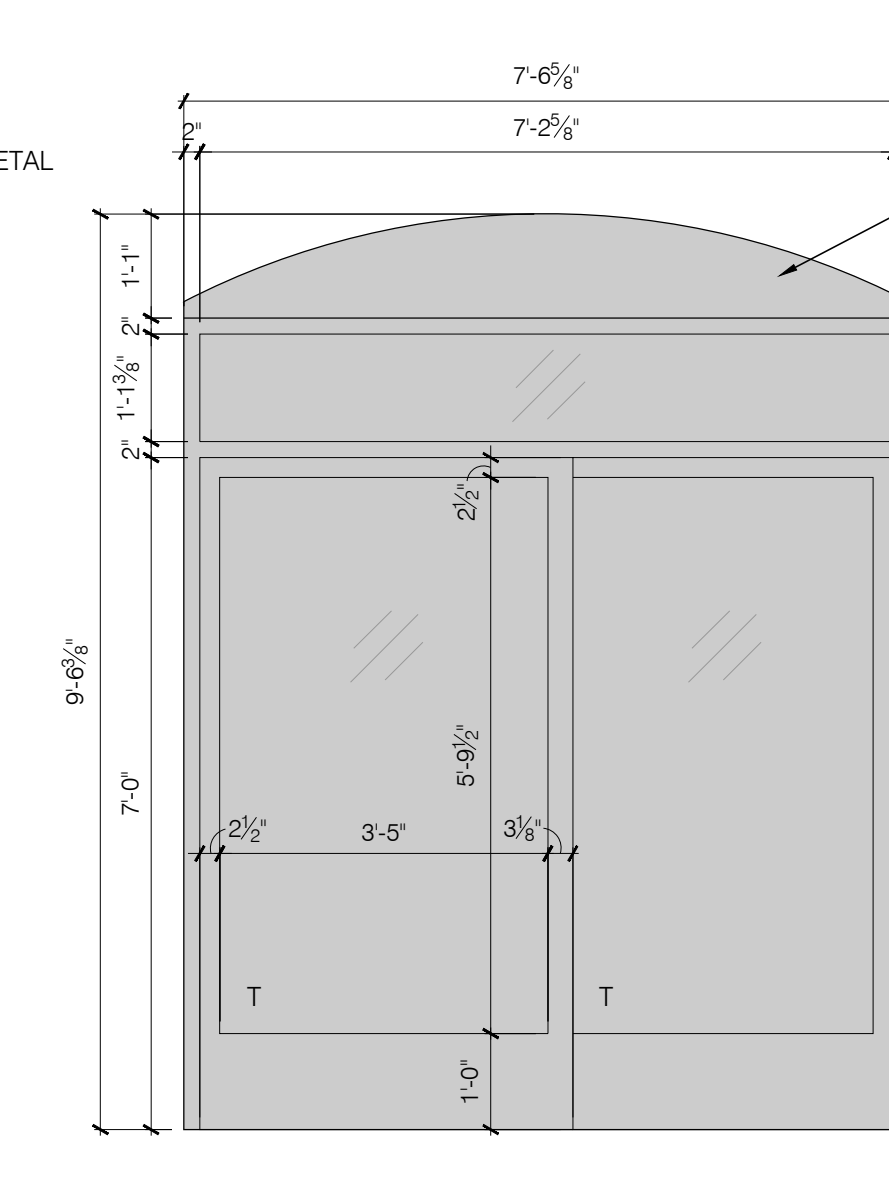
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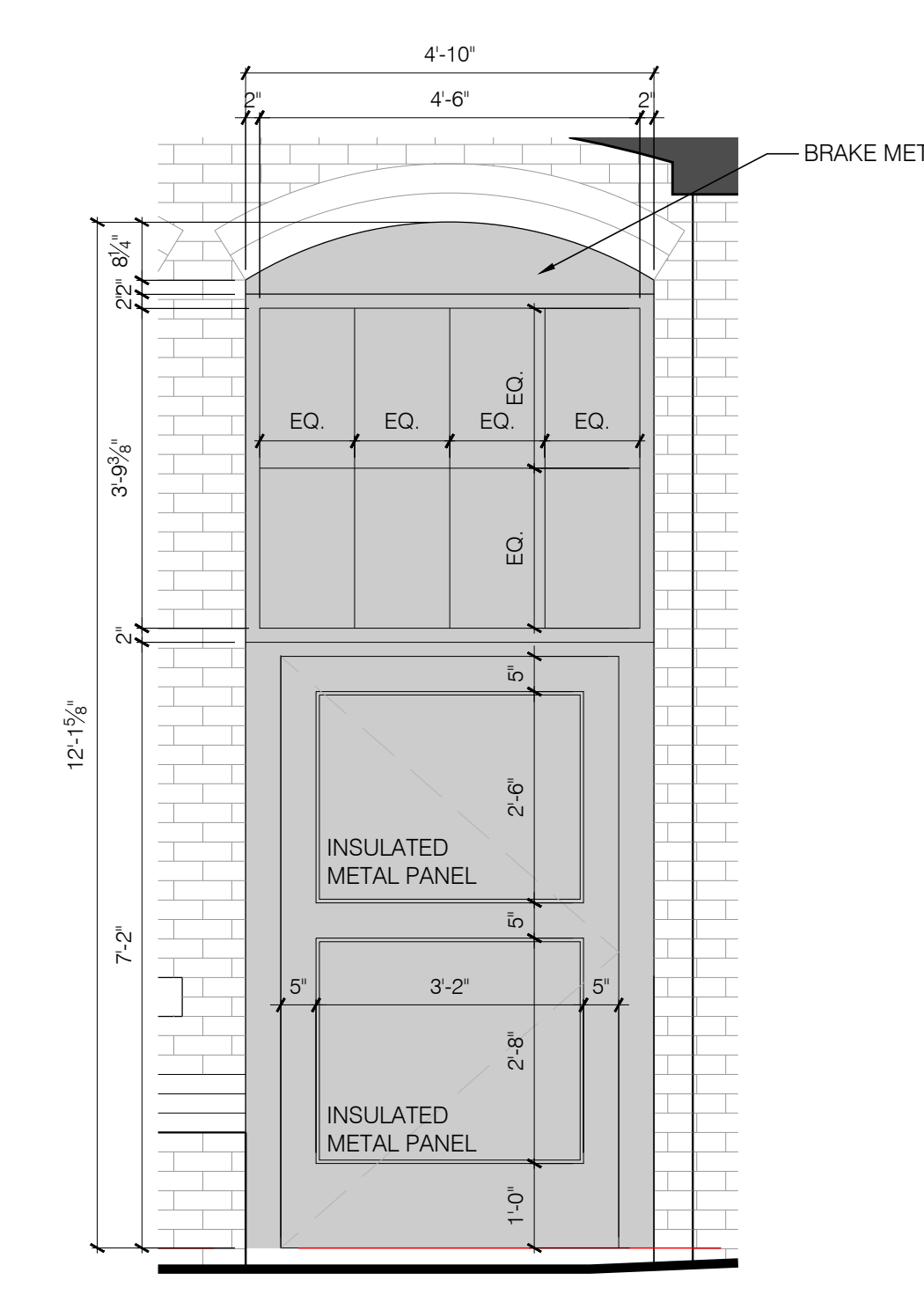
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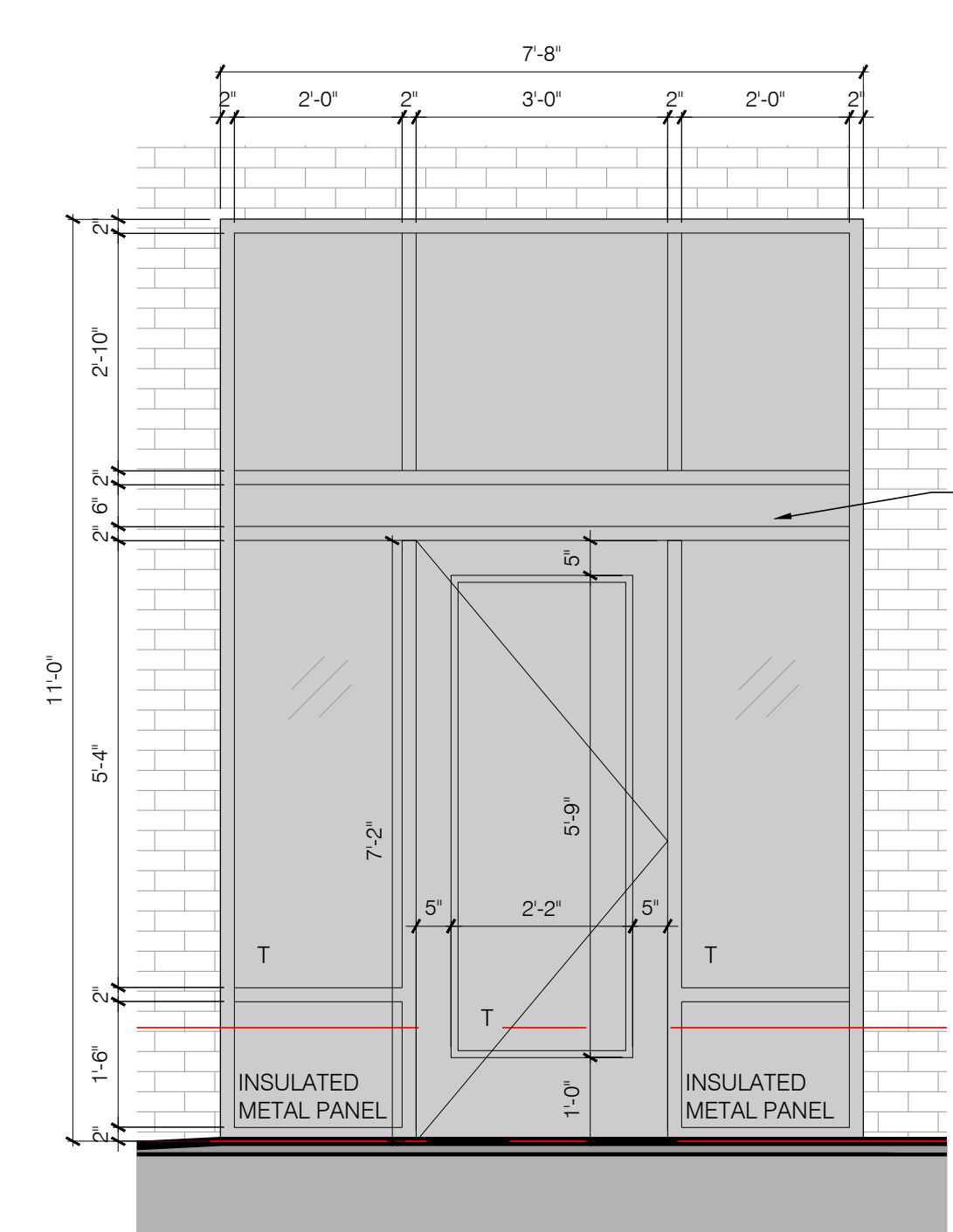
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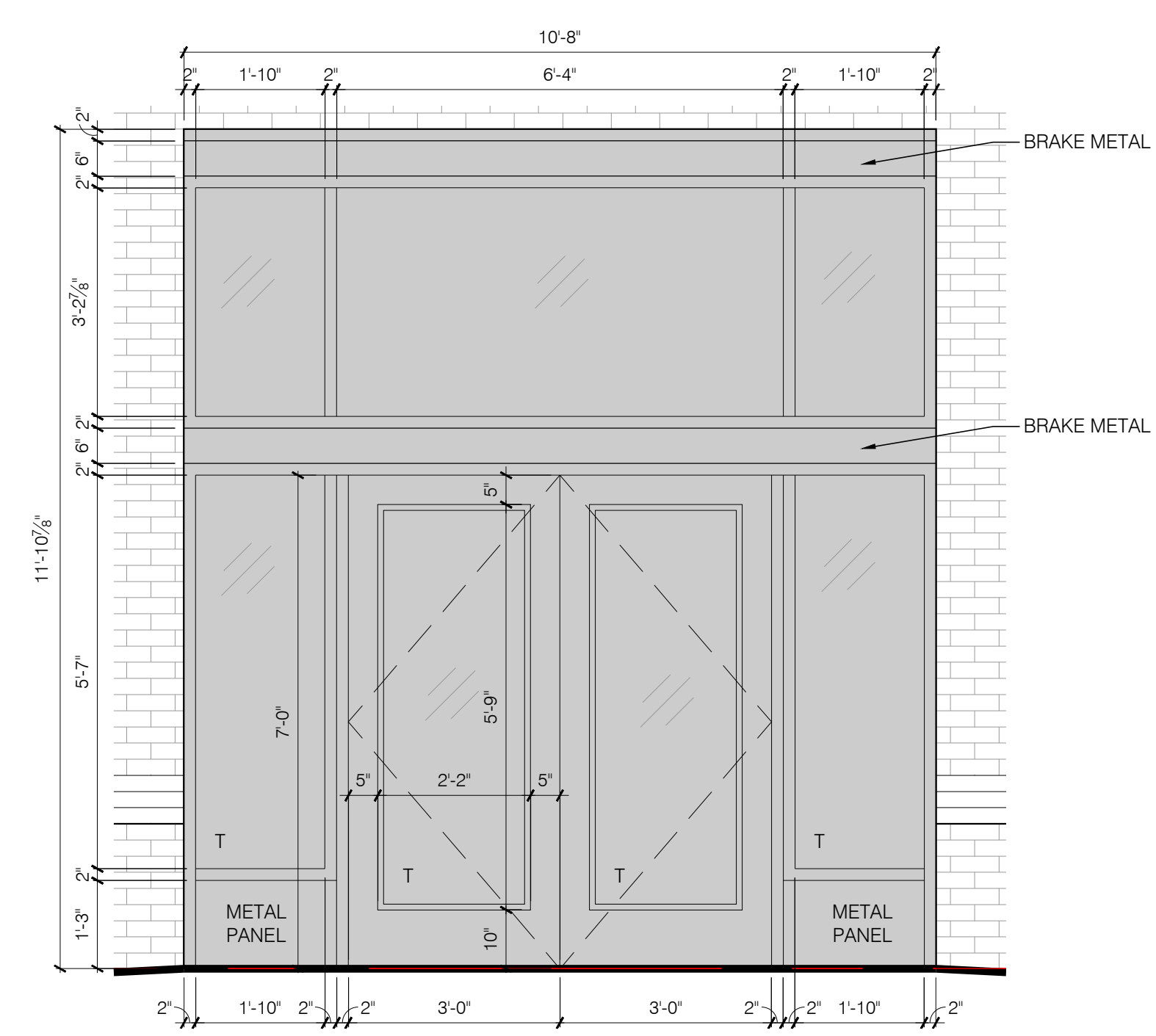
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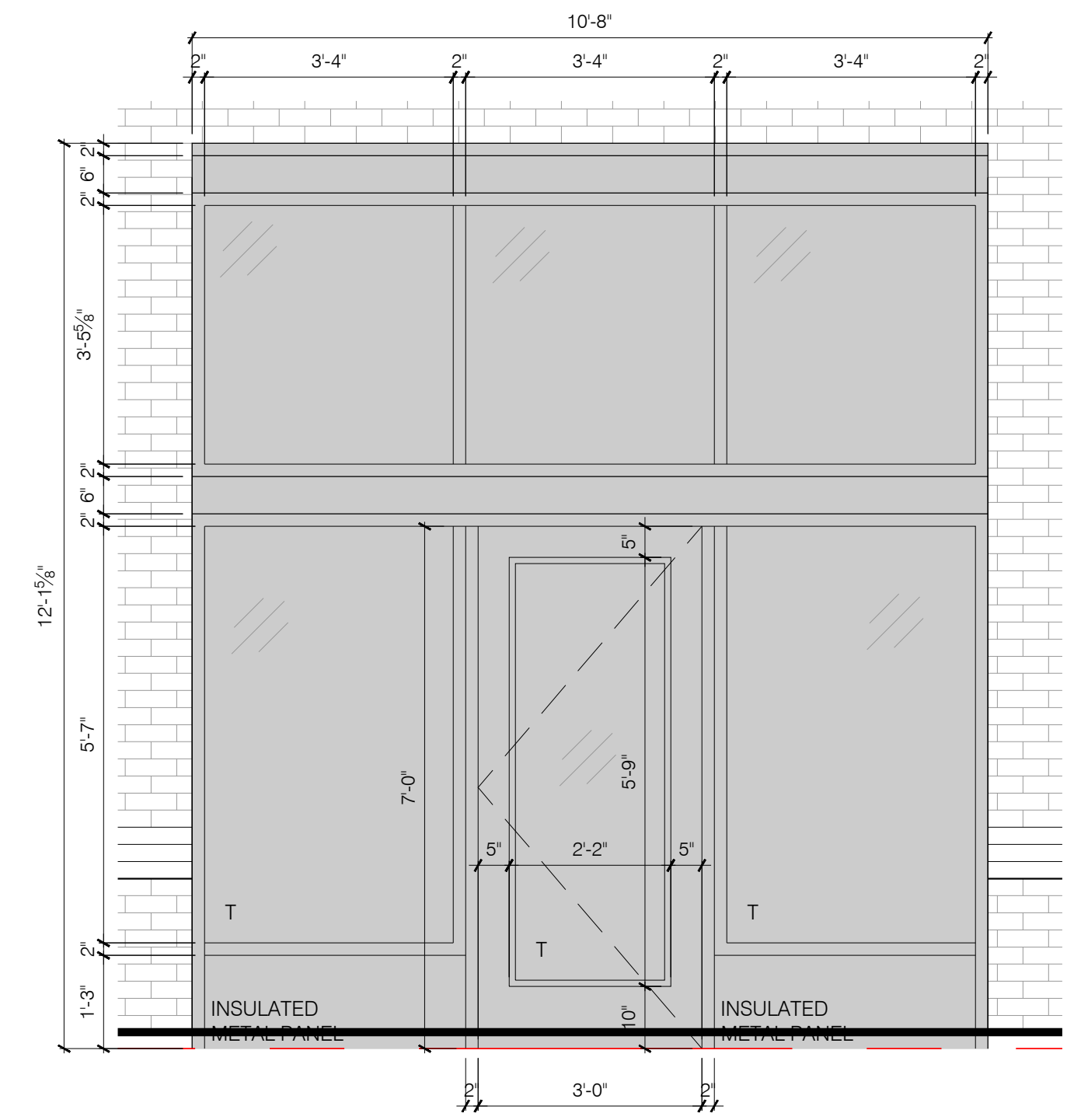
SF-6



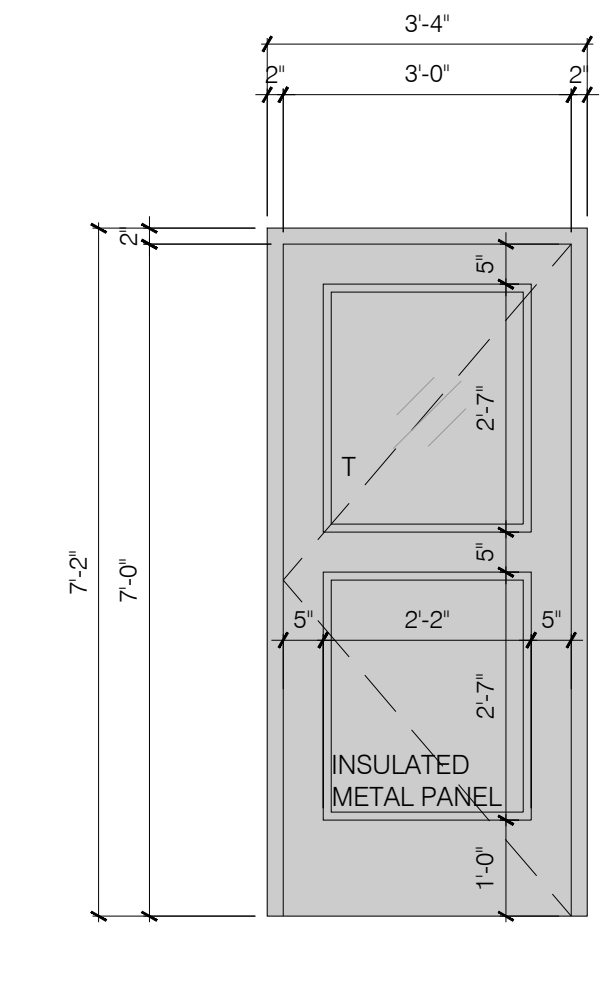
SF-7 (TYP. OF 2)



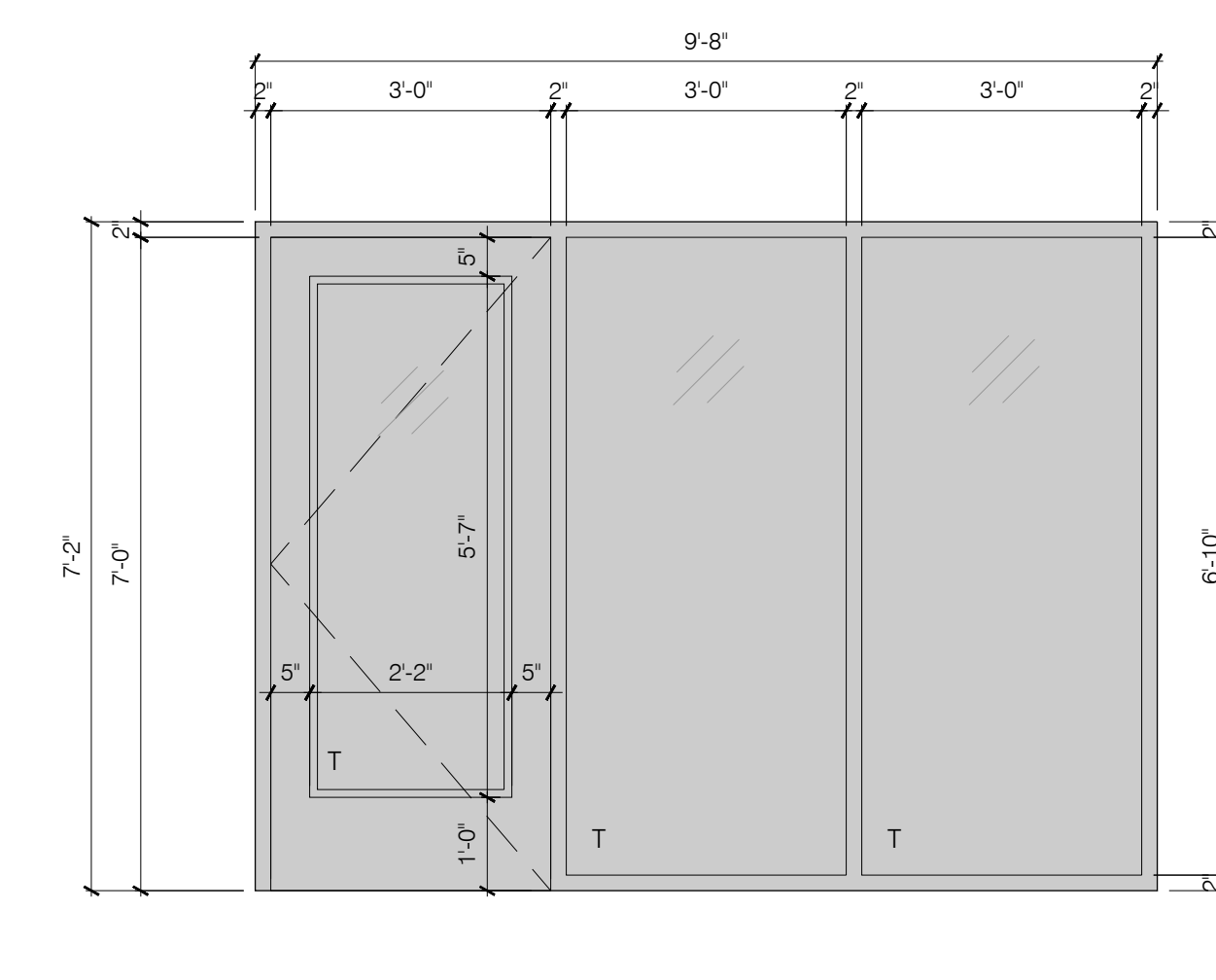
SF-8



SF-9



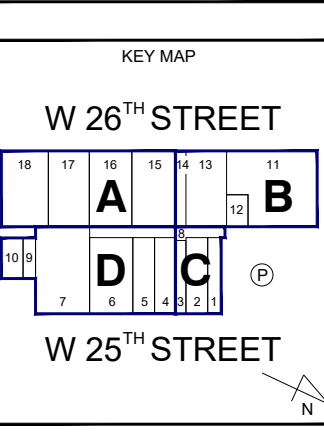
SF-10



SF-11



THE CARRIAGE COMPANY
 HISTORIC RENOVATION
 2168 W. 25th ST | Cleveland, Ohio 44113



NO.	PURPOSE OF ISSUE	DATE
1	ISSUED FOR PERMIT	11-13-24

DRAWING TITLE
WINDOWS & STOREFRONTS

JOB # DRAWN BY REVIEWED BY
 22-891 TS LD

DRAWING NUMBER
A8.51
 ISSUE
A

Window Type 2 (Traco to match existing)



Window Type 2 (Traco to match existing)



PROJECT INFORMATION

PROJECT NAME: VOSS BUILDING
SHIP TO ADDRESS: 2168 WEST 25TH STREET
CLEVELAND, OH 44113

CUSTOMER: C & K SERVICES

GLASS SCHEDULE					
GLASS TYPE	INFILL THICKNESS	SINGLE OR INSULATING	DESCRIPTION		
			EXTERIOR LITE	AIR SPACE	INTERIOR LITE
<input checked="" type="checkbox"/> GL-1	1'	INS.	1/8' CLEAR TEMP	3/4' AIR	1/8' CLEAR TEMP
<input checked="" type="checkbox"/> GL-2	1'	MAPES PANEL	INT. & EXT. SMOOTH ALUMINUM SKINS INT. & EXT. HARTFORD GREEN PAINTED FINISH		
NOTE: GL-1 IS TO HAVE COLONIAL MUNTINS.					

SCREENS	
SCREEN MESH	SCREEN MESH
<input checked="" type="checkbox"/> ALUMINUM MESH <input checked="" type="checkbox"/> DARK <input type="checkbox"/> BRIGHT	<input checked="" type="checkbox"/> HALF SCREEN
<input type="checkbox"/> FIBERGLASS MESH (DARK)	<input type="checkbox"/> FULL SCREEN
<input type="checkbox"/> STAINLESS STEEL MESH (.009)	<input checked="" type="checkbox"/> EXTERIOR SET
<input type="checkbox"/> SECURITY / PROTECTION SCREEN	<input type="checkbox"/> INTERIOR SET

HARDWARE
<input checked="" type="checkbox"/> STANDARD SILL SNAP LOCK
<input checked="" type="checkbox"/> ULTRA LIFT BALANCES

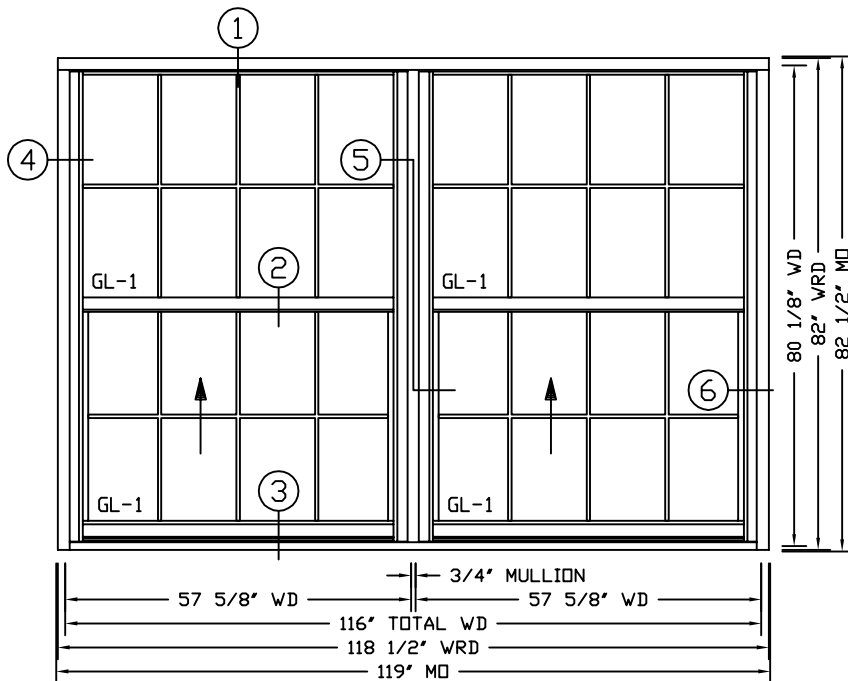
WINDOW FINISH	
ANODIZED	PAINTED
<input type="checkbox"/> CLASS II CLEAR	<input checked="" type="checkbox"/> DURACRON
<input type="checkbox"/> CLASS I CLEAR	<input type="checkbox"/> ACRYNAR
<input type="checkbox"/> CHAMPAGNE	<input type="checkbox"/> DURANAR
<input type="checkbox"/> LIGHT BRONZE	<input type="checkbox"/> DURANAR XL
<input type="checkbox"/> MEDIUM BRONZE	FINISH NAME:
<input type="checkbox"/> DARK BRONZE	HARTFORD GREEN
<input type="checkbox"/> BLACK	UC# 74266

PROJECT INFORMATION

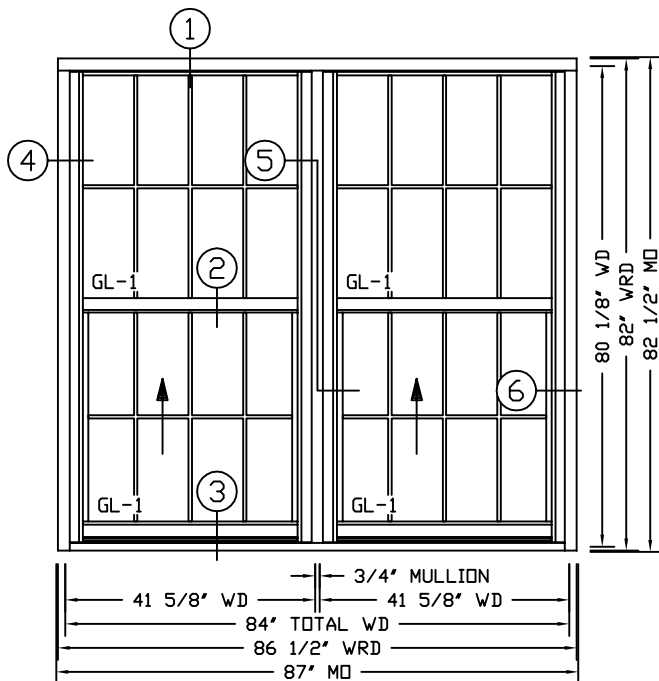
GENERAL NOTES									

ACCESSORIES									
ACCESSORIES	BY TRACO	BY ERECTOR	NOT BY TRACO	SHIP IN STOCK LENGTHS	PLANT CUT TO SIZE	FURNISHED OVERSIZE	PLANT PRE-DRILL	FIELD DRILL	COMMENTS
FASTENERS TO WINDOWS		✓							
FASTENERS TO BUILDING		✓							
ANCHOR CLIPS									N/A
STEEL ANCHORS									N/A
STEEL REINFORCING									N/A
INTERIOR STOOL									N/A
EXTERIOR SILL									N/A
SUBSILL	✓								
RECEPTOR	✓								
MULLIONS	✓								
BRAKE FORM									N/A
SEALANT		✓							
EXTERIOR PANNING	✓								
INTERIOR TRIM	✓								
MULLION COVERS									N/A
INSULATION			✓						
BLOCKING			✓						

NOT TO SCALE



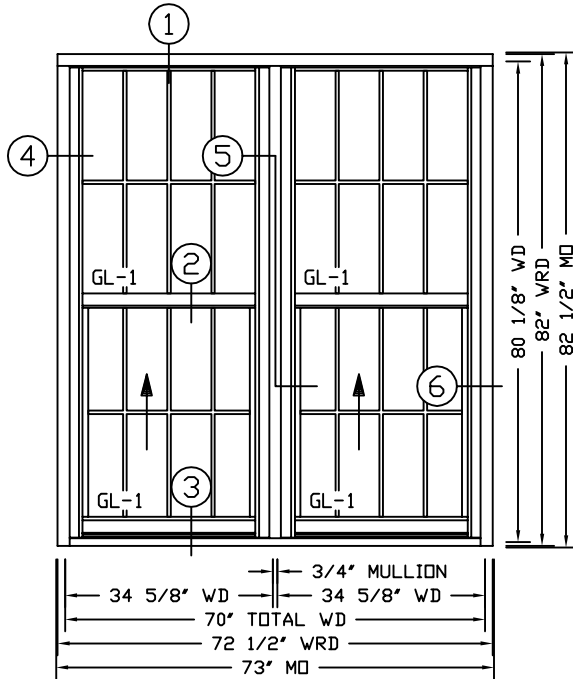
UNIT MARK **A** (3) REQD
 TR-9100 SINGLE HUNG
 GLASS TYPE: GL-1
 3 PCS MULLION (S-035)
 HEAD & JAMB RECEPTOR (S-072 W/S-071)
 SUBSILL (S-1595)



UNIT MARK **B** (2) REQD
 TR-9100 SINGLE HUNG
 GLASS TYPE: GL-1
 3 PCS MULLION (S-035)
 HEAD & JAMB RECEPTOR (S-072 W/S-071)
 SUBSILL (S-1595)

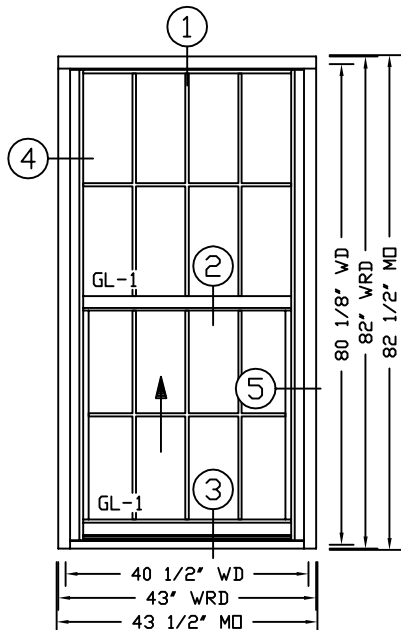
WD = WINDOW DIMENSION
 DLO = DAY LIGHT OPENING DIMENSION
 WRD = WINDOW WITH RECEPTOR DIMENSION
 MO = MASONRY OPENING DIMENSION


NOT TO SCALE



UNIT MARK  (1) REQD

TR-9100 SINGLE HUNG
GLASS TYPE: GL-1
3 PCS MULLION (S-035)
HEAD & JAMB RECEPTOR (S-072 W/S-071)
SUBSILL (S-1595)

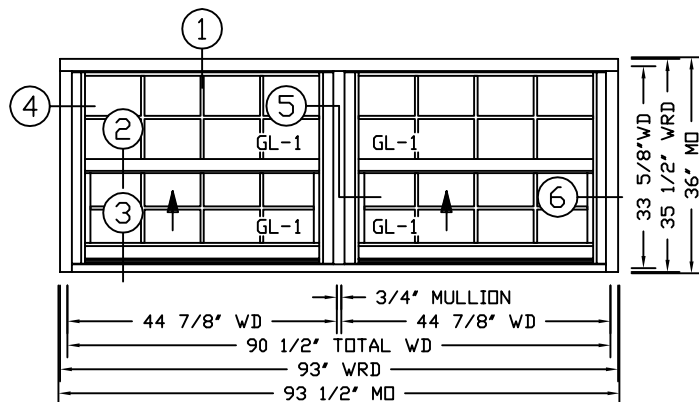


UNIT MARK  (2) REQD

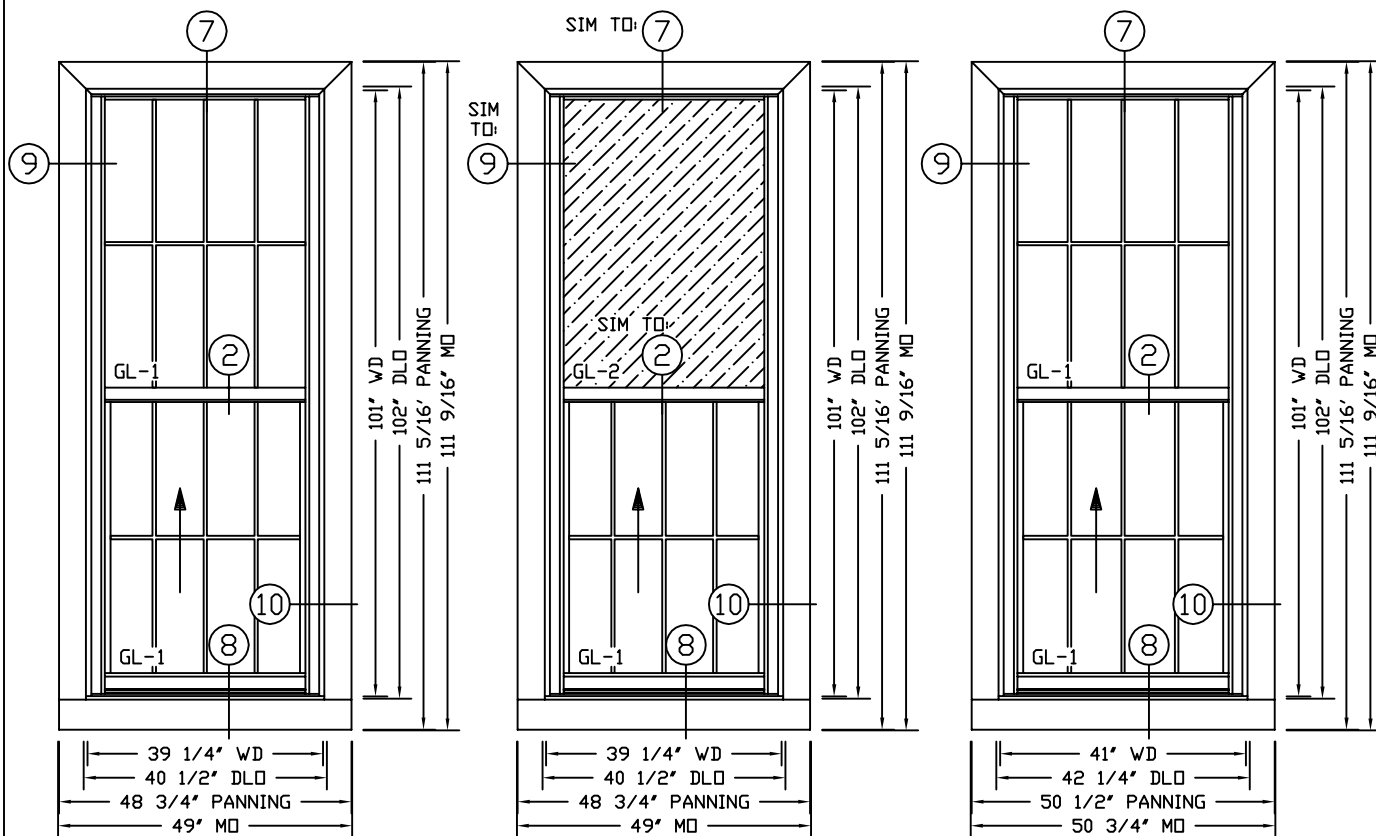
TR-9100 SINGLE HUNG
GLASS TYPE: GL-1
HEAD & JAMB RECEPTOR (S-072 W/S-071)
SUBSILL (S-1595)

WD = WINDOW DIMENSION
DLO = DAY LIGHT OPENING DIMENSION
WRD = WINDOW WITH RECEPTOR DIMENSION
MO = MASONRY OPENING DIMENSION

NOT TO SCALE



UNIT MARK **E** (1) REQD
 TR-9100 SINGLE HUNG
 GLASS TYPE: GL-1
 3 PCS MULLION (S-035)
 HEAD & JAMB RECEPTOR (S-072 W/S-071)
 SUBSILL (S-1595)



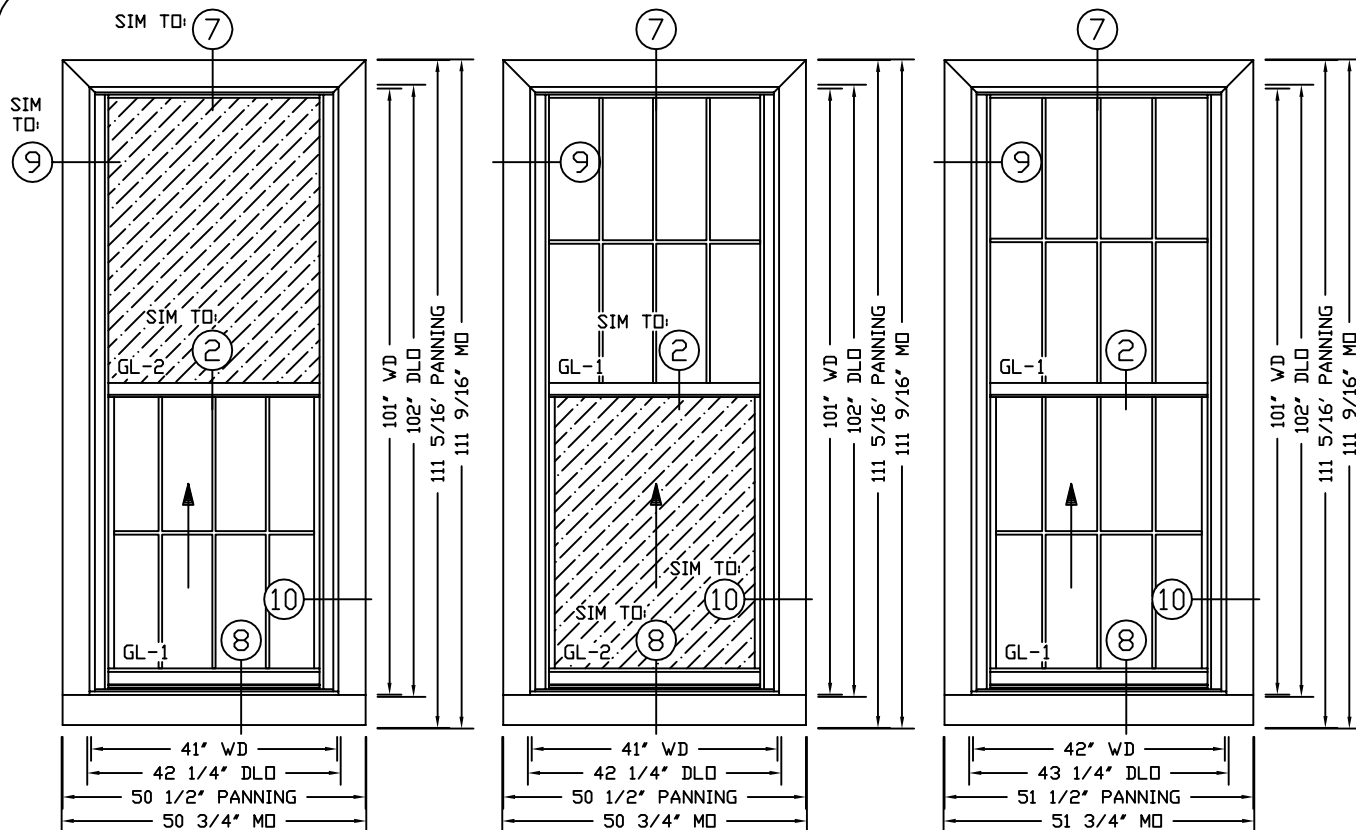
UNIT MARK **F1** (3) REQD
 TR-9100 SINGLE HUNG
 GLASS TYPE: GL-1
 'XX' PRESET PANNING
 #6 INTERIOR TRIM

UNIT MARK **F2** (1) REQD
 TR-9100 SINGLE HUNG
 GLASS TYPE: GL-1 & 2
 'XX' PRESET PANNING
 #6 INTERIOR TRIM

UNIT MARK **G1** (4) REQD
 TR-9100 SINGLE HUNG
 GLASS TYPE: GL-1
 'XX' PRESET PANNING
 #6 INTERIOR TRIM

WD = WINDOW DIMENSION
 DLO = DAY LIGHT OPENING DIMENSION
 WRD = WINDOW WITH RECEPTOR DIMENSION
 MO = MASONRY OPENING DIMENSION

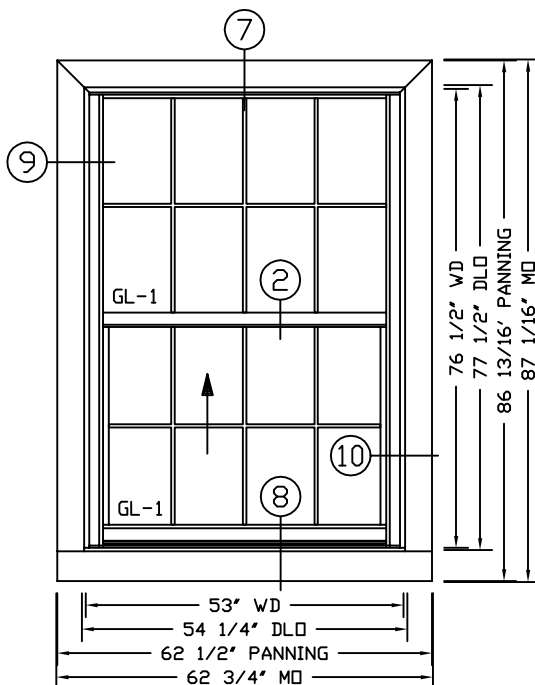
NOT TO SCALE



UNIT MARK **G2** (1) REQD
TR-9100 SINGLE HUNG
GLASS TYPE: GL-1 & 2
'XX' PRESET PANNING
#6 INTERIOR TRIM

UNIT MARK **G3** (1) REQD
TR-9100 SINGLE HUNG
GLASS TYPE: GL-1 & 2
'XX' PRESET PANNING
#6 INTERIOR TRIM

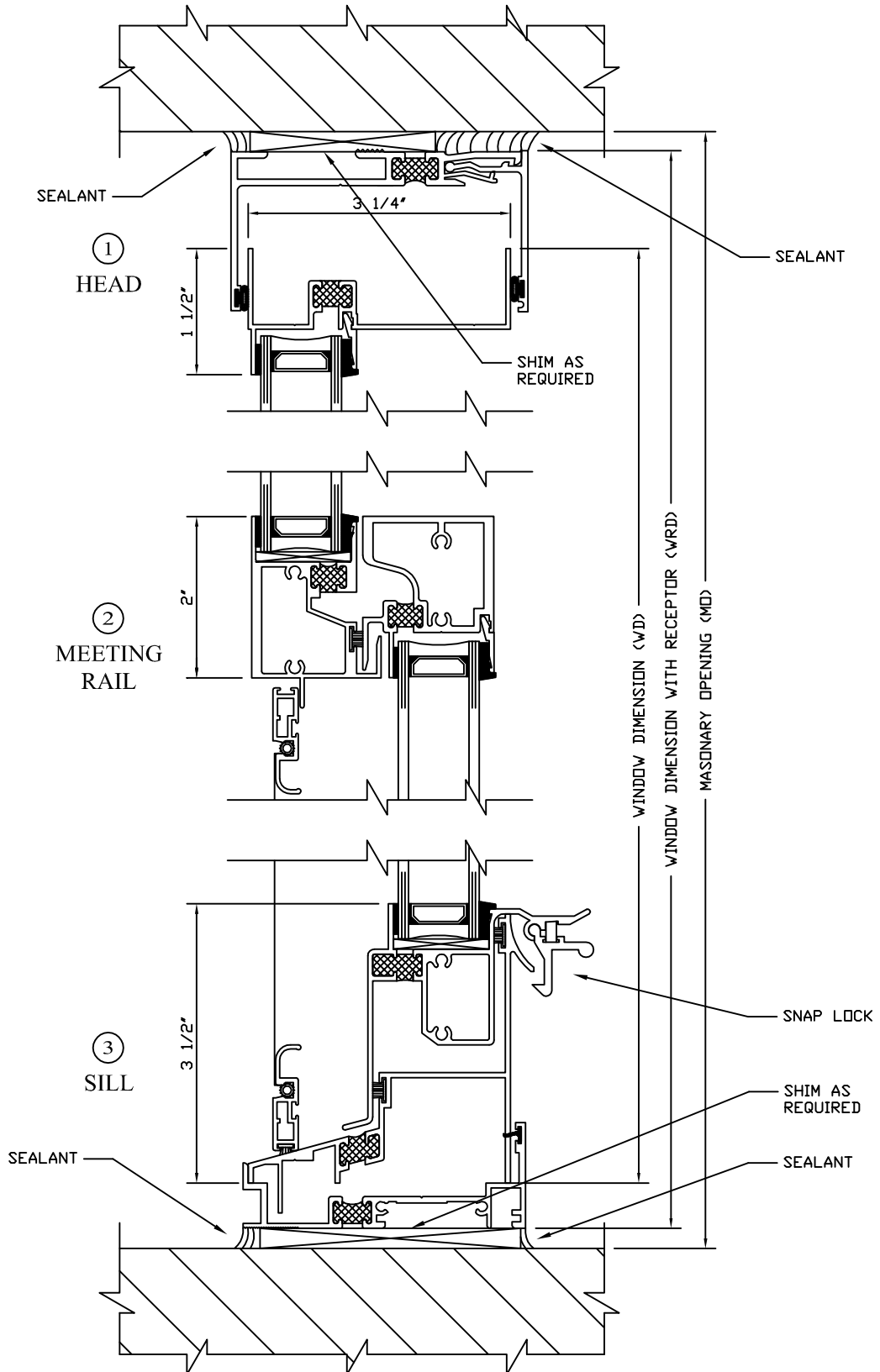
UNIT MARK **H** (4) REQD
TR-9100 SINGLE HUNG
GLASS TYPE: GL-1
'XX' PRESET PANNING
#6 INTERIOR TRIM



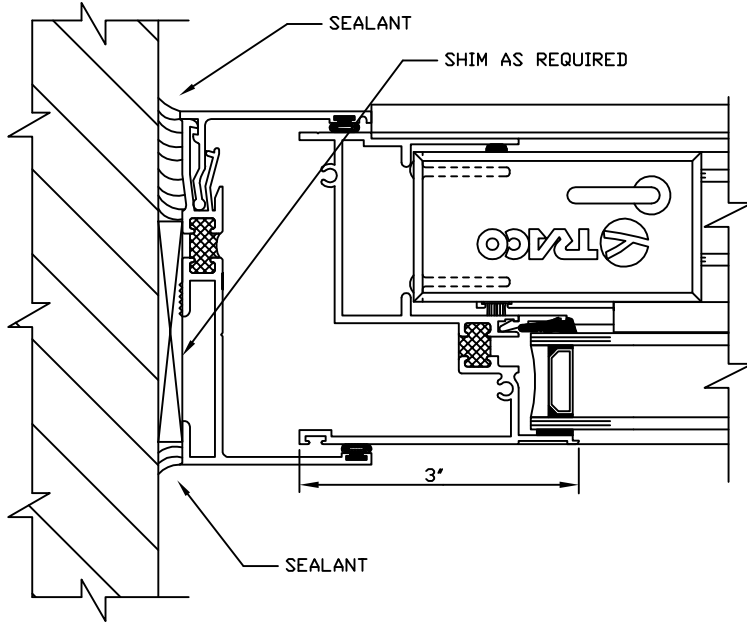
UNIT MARK **J** (3) REQD
TR-9100 SINGLE HUNG
GLASS TYPE: GL-1
'XX' PRESET PANNING
#6 INTERIOR TRIM

WD = WINDOW DIMENSION
DLO = DAY LIGHT OPENING DIMENSION
WRD = WINDOW WITH RECEPTOR DIMENSION
MO = MASONRY OPENING DIMENSION

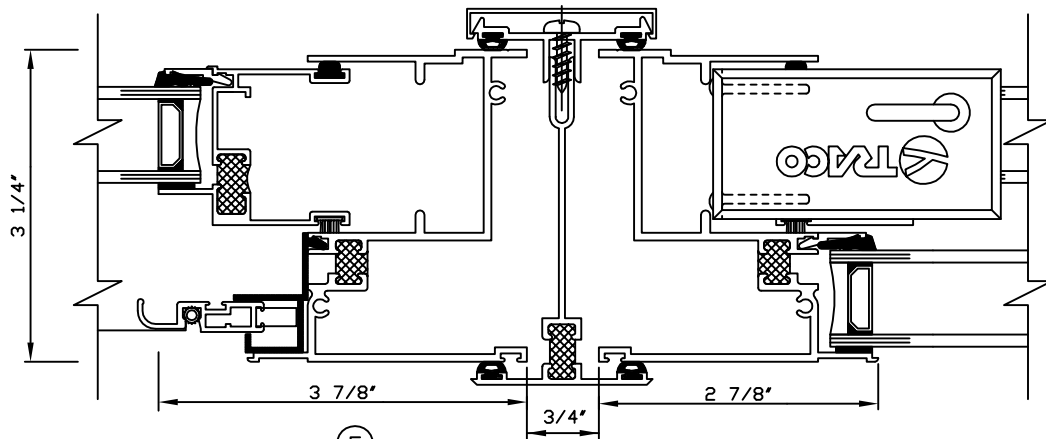
HALF SCALE



HALF SCALE

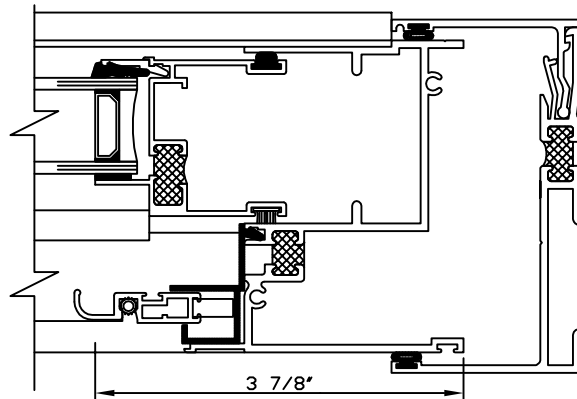


④
LEFT JAMB
(WITH CLASS 5 BALANCES)

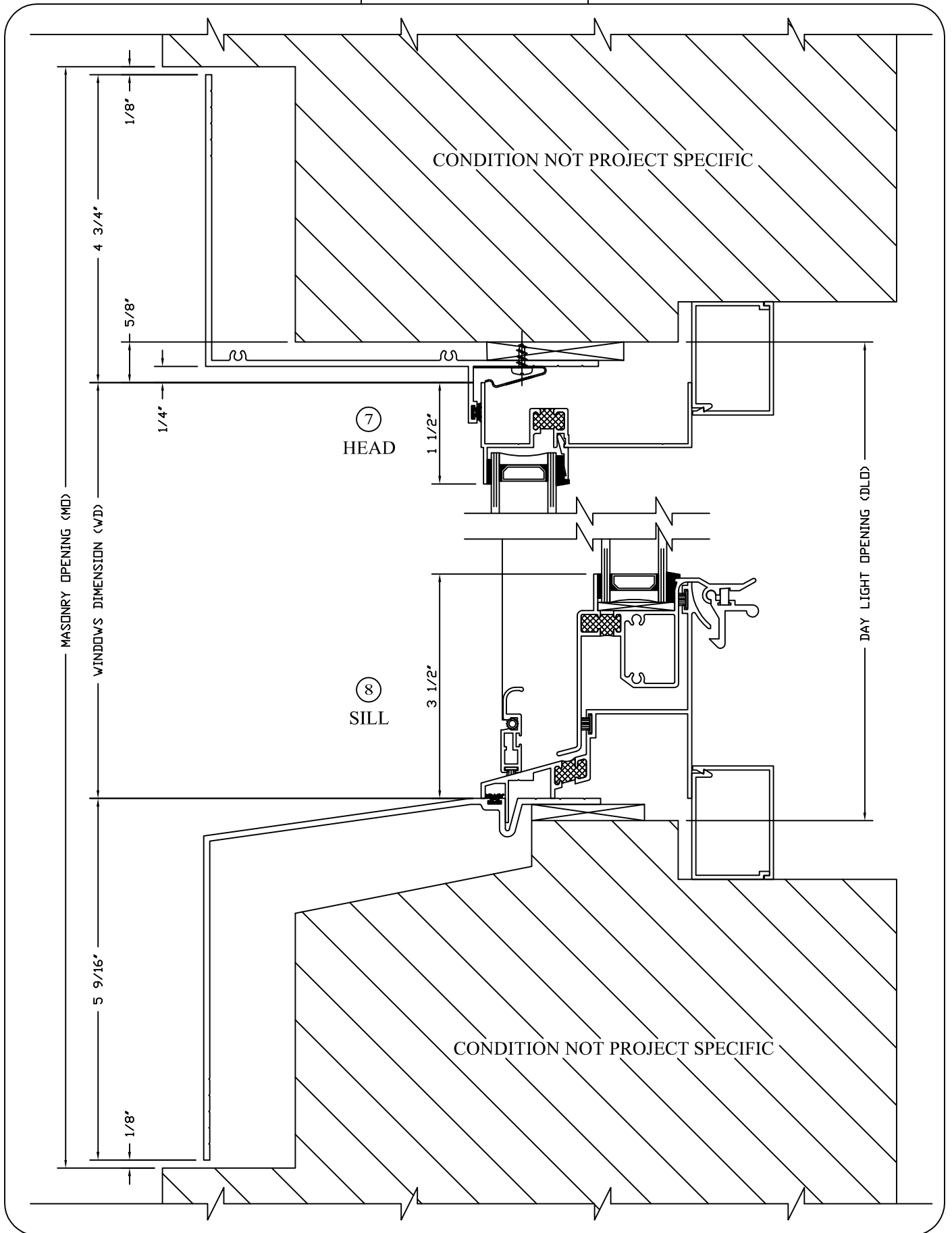


⑤
3 PCS MULLION
(WITH CLASS 5 BALANCES)

⑥
RIGHT JAMB
(WITH CLASS 5 BALANCES)



HALF SCALE



HALF SCALE

CONDITION NOT PROJECT SPECIFIC

CONDITION NOT PROJECT SPECIFIC

3 7/8"

(10)

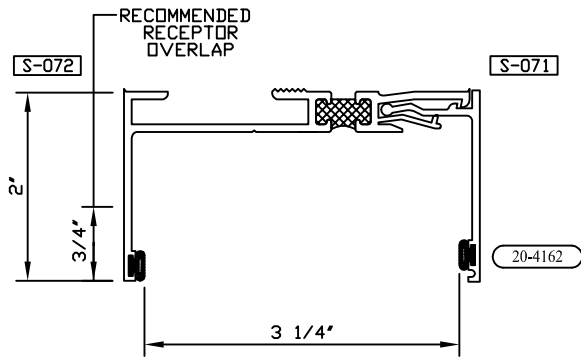
RIGHT JAMB
(WITH CLASS 5 BALANCES)

(9)

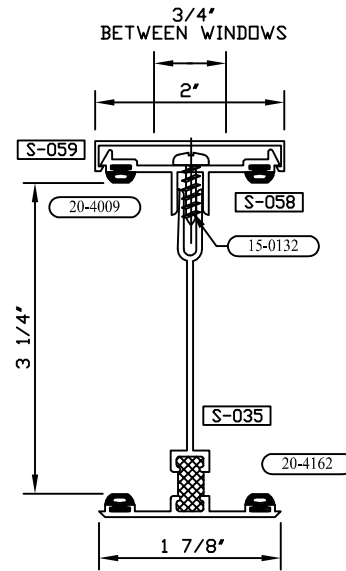
LEFT JAMB
(WITH CLASS 5 BALANCES)

WD
DLO
PANNING
MD

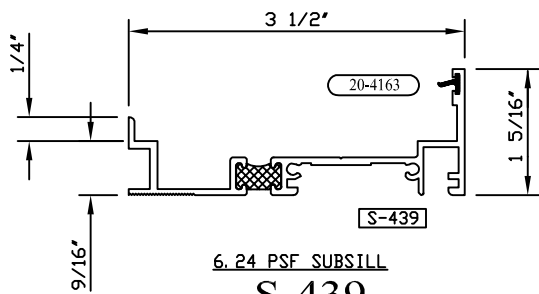
HALF SCALE



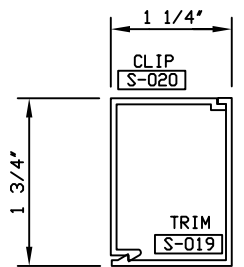
3 1/4" X 2" RECEPTOR & CLIP
S-072 / S-071



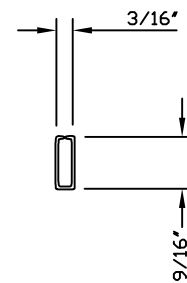
THREE PIECE MULLION BASE
S-035



6.24 PSF SUBSILL
S-439

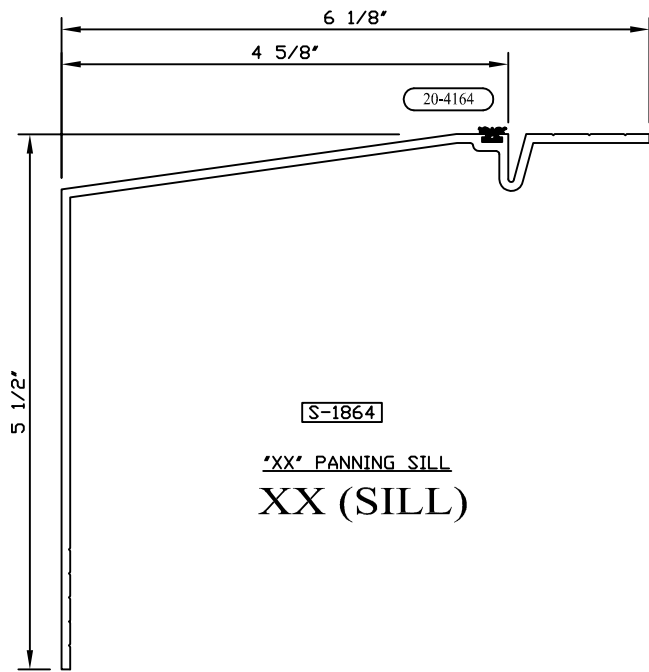
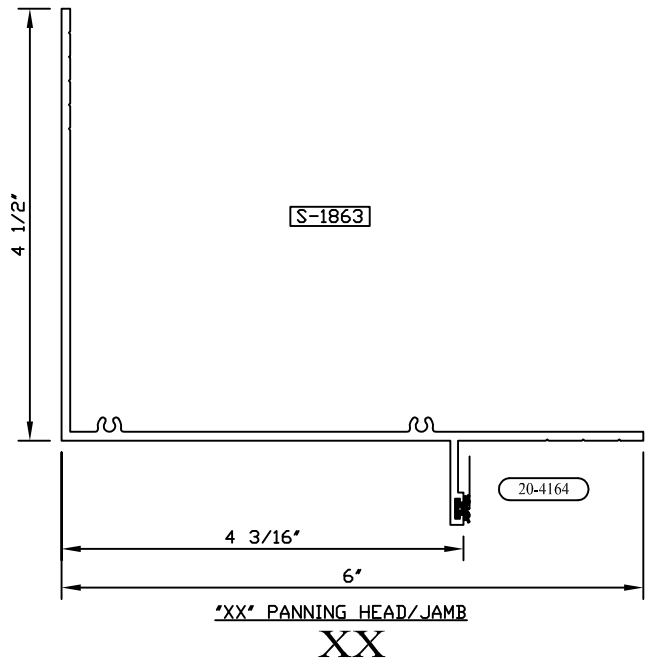


#6 TRIM & #6 CLIP
#6 TRIM

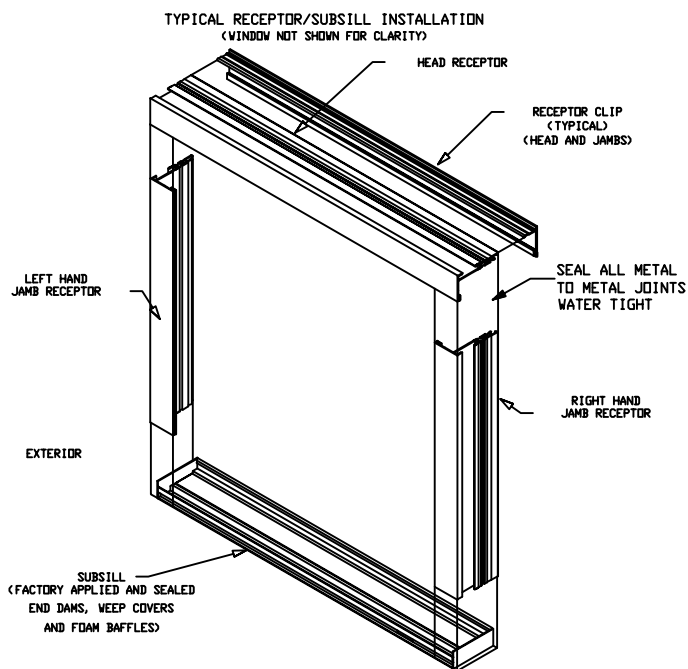


ROLL-FORMED
.019" ALUMINUM
#30-1083 (MILL FINISH)
STANDARD COLONIAL MUNTIN

HALF SCALE



HALF SCALE

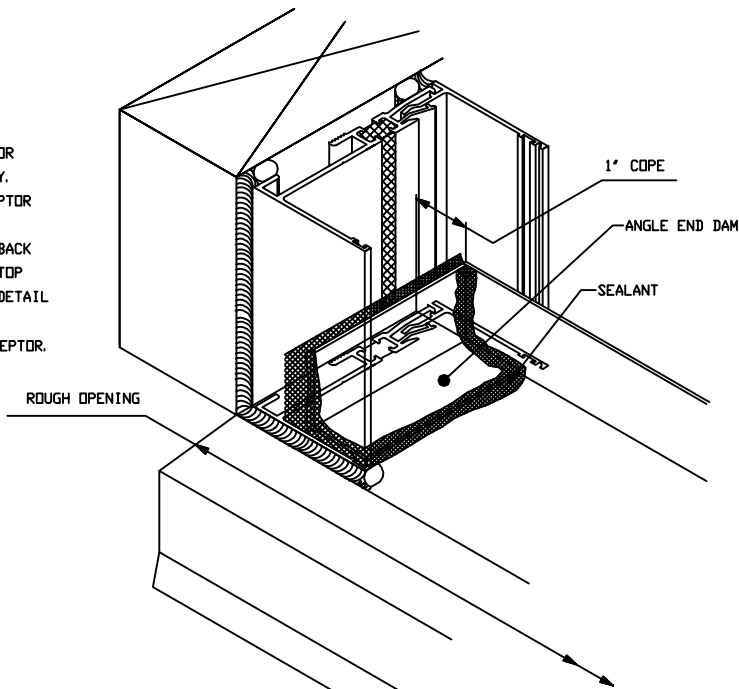


ASSEMBLY PROCEDURE:

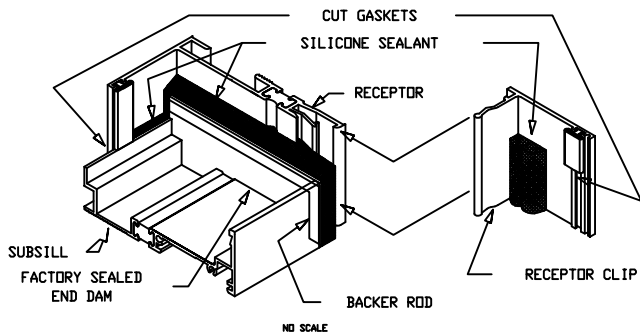
1. CUT HEAD RECEPTOR TO OPENING WIDTH, AND FASTEN TO OPENING HEAD.
2. CUT JAMB RECEPTORS TO FIT FROM HEAD RECEPTOR DOWN-TURNED LEG TO SILL.
3. SET SUBSILL INSIDE JAMB RECEPTORS.
4. SEAL HEAD TO JAMB RECEPTOR METAL TO METAL JOINTS.
5. SET WINDOW INTO SYSTEM. THE SUBSILL MUST BE SEALED TO THE WINDOW UNIT THE COMPLETE LENGTH ON THE EXTERIOR. ALSO, THE INTERIOR SIDE OF THE SUBSILL MUST BE SEALED AT ANY LOCATION THAT THE WEDGE GASKET TERMINATES.
6. SNAP ON INTERIOR CLIPS TO RETAIN PRODUCT.

TYPICAL BRAKEMETAL END DAM

1. 1" AS SHOWN.
2. CUT BRAKEMETAL TO FIT ROUGH OPENING (SHIM AS REQ'D)
3. LOCATE ANGLE (SET IN SEALANT)
4. SEAL ALONG ANGLE FACE AND LEG AT BRAKEMETAL GENEROUSLY.
5. LOCATE AND INSTALL EXTERIOR RECEPTOR. ANCHOR PROPERLY.
6. SEAL ALONG ANGLE AND RECEPTOR EXTERIOR FACE.
7. SEAL THOROUGHLY BETWEEN BACK OF ANGLE FACE AND LEG TO TOP OF ANGLE. REFER TO JAMB DETAIL OR PLAN VIEW.
8. NOTE: SIMILAR WITHOUT RECEPTOR.

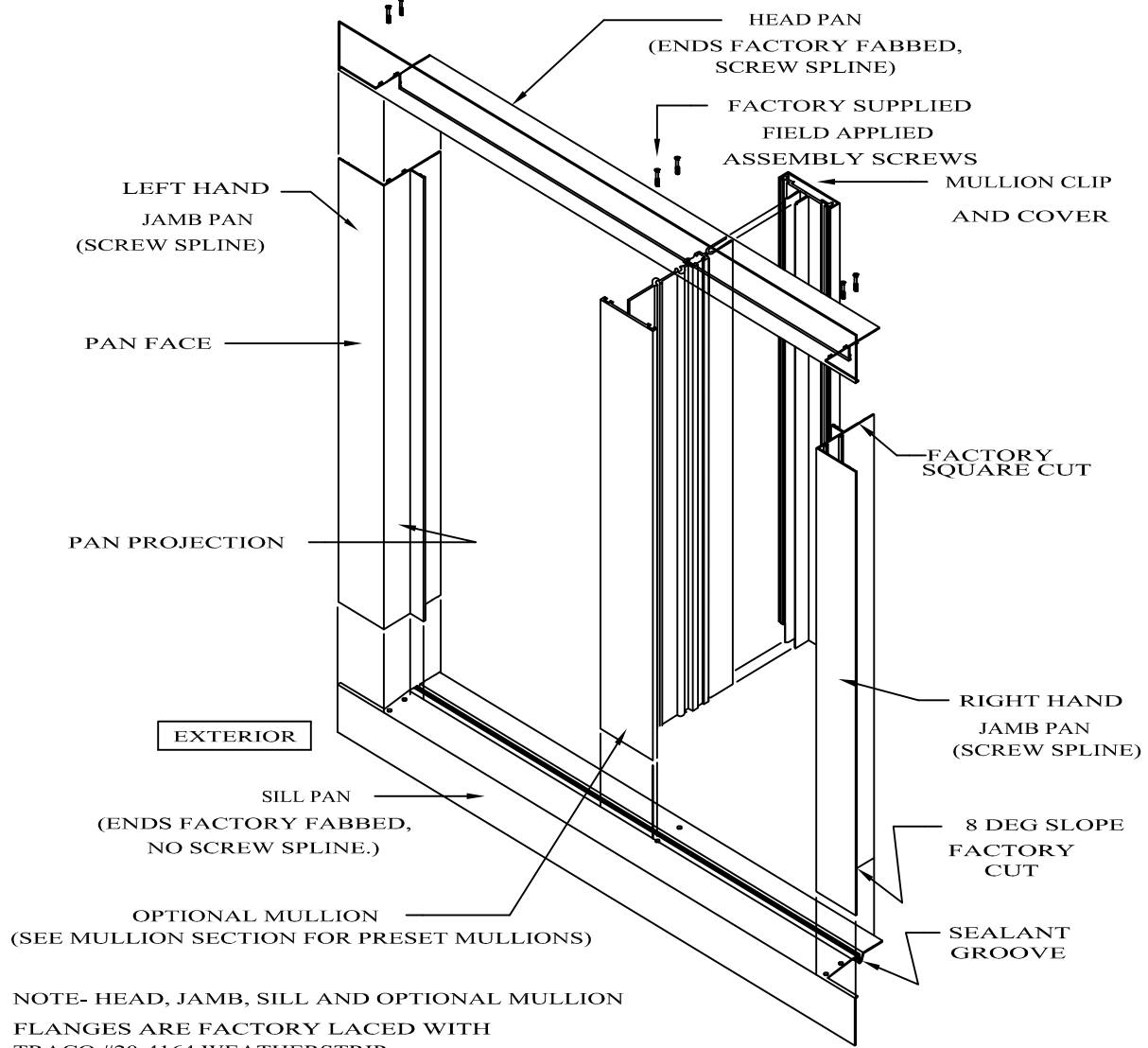


SUBSILL-TO-RECEPTOR JAMBS



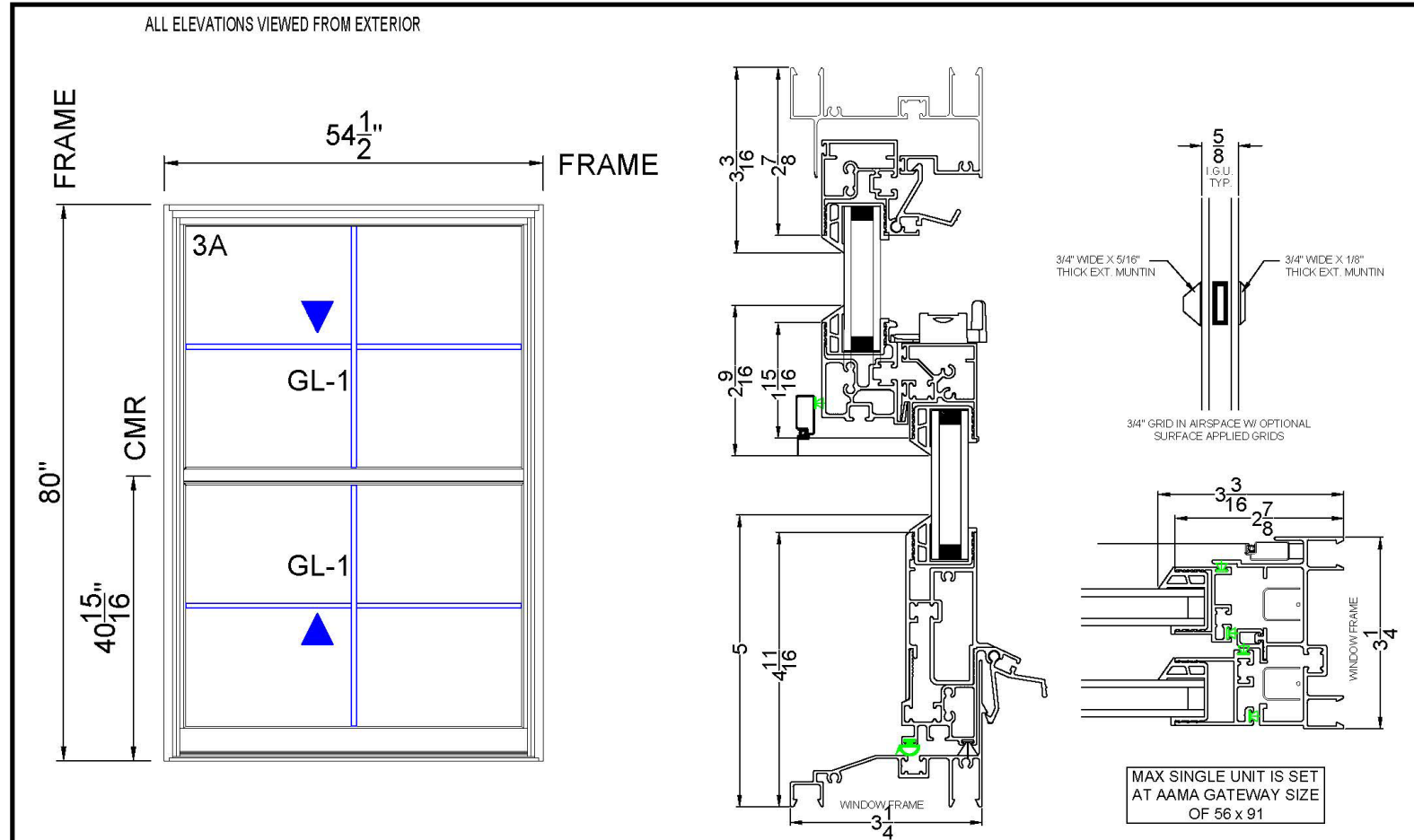
HALF SCALE

TYPICAL PRESET PANNING ASSEMBLY (WINDOW NOT SHOWN FOR CLARITY)




NOTE- HEAD, JAMB, SILL AND OPTIONAL MULLION
FLANGES ARE FACTORY LACED WITH
TRACO #20-4164 WEATHERSTRIP.

Wojan Window Type 3

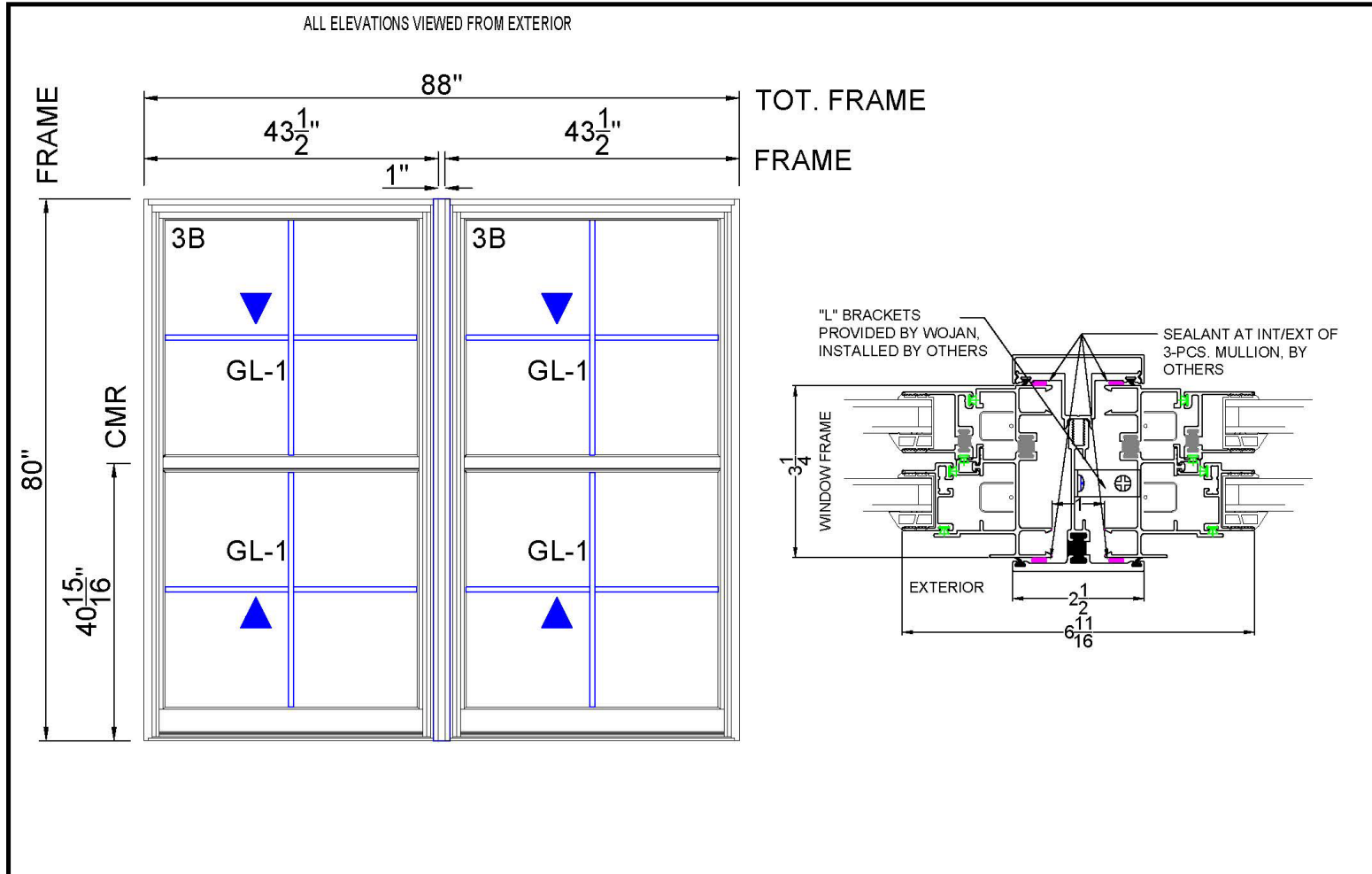



1600H HISTORIC DOUBLE HUNG

	PROJECT: CARRIAGE WORKS												CUSTOMER CONFIRMATION		
	CUSTOMER: DBA G.L.A.S.S., INC.														
CITY/STATE: CLEVELAND, OH														INITIAL: _____	
SCALE: NONE														DATE: _____	
DATE: 1/16/25				DRAWN BY: JMF		REF QUOTE# 131069								Please initial and date to APPROVE and ACCEPT this page.	
DO NOT SCALE THIS DRAWING															
				NO.		REVISIONS		DATE		BY					

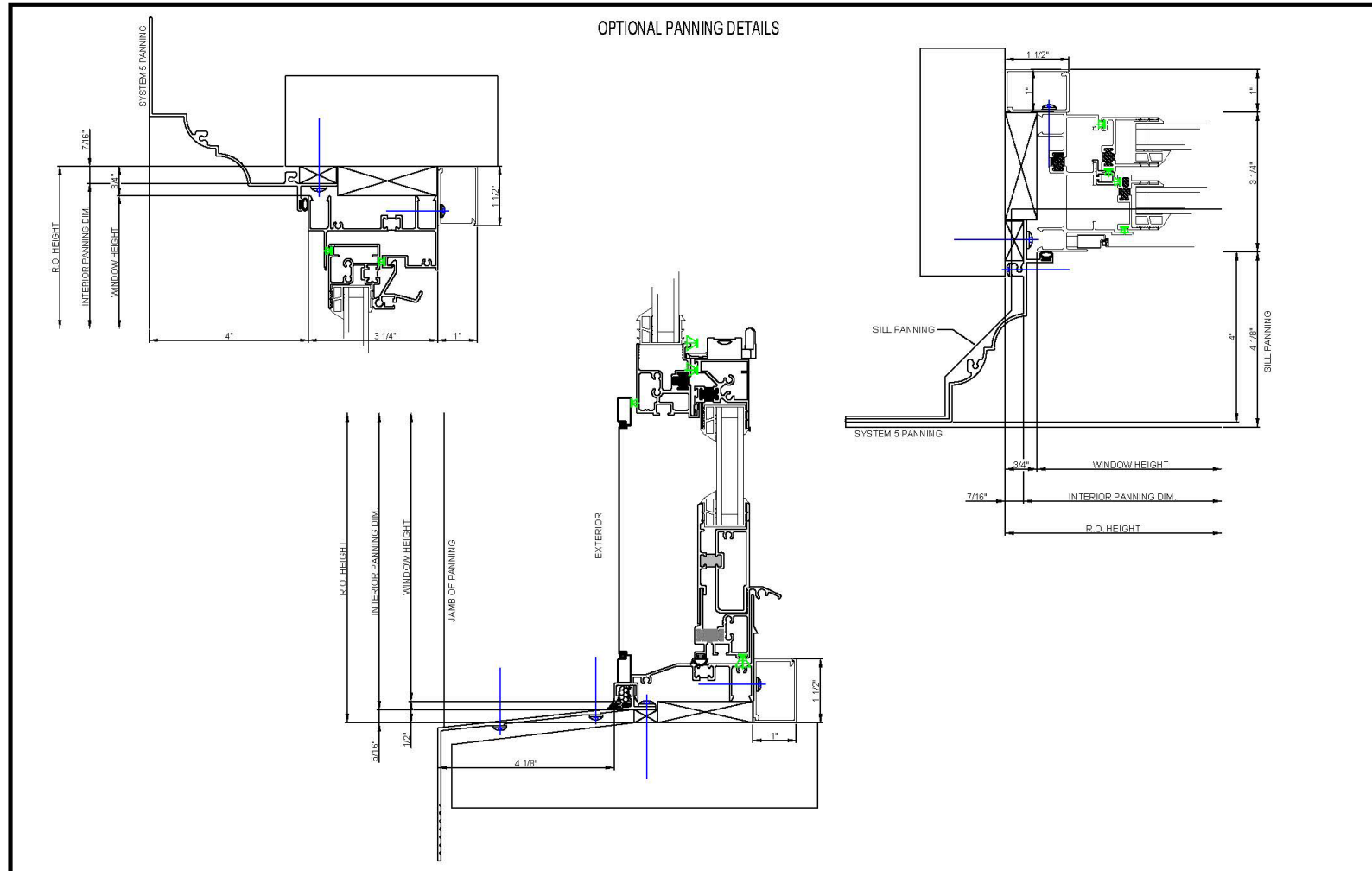
1 OF 3


Wojan Window Type 3



	PROJECT: CARRIAGE WORKS			CUSTOMER CONFIRMATION INITIAL: _____ DATE: _____ Please initial and date to APPROVE and ACCEPT this page.			
	CUSTOMER: DBA G.L.A.S.S., INC. CITY/STATE: CLEVELAND, OH						
2 OF 3	SCALE : NONE						
	DATE : 1/16/25	DRAWN BY : JMF	REF QUOTE# 131069				
DO NOT SCALE THIS DRAWING				NO.	REVISIONS	DATE	BY

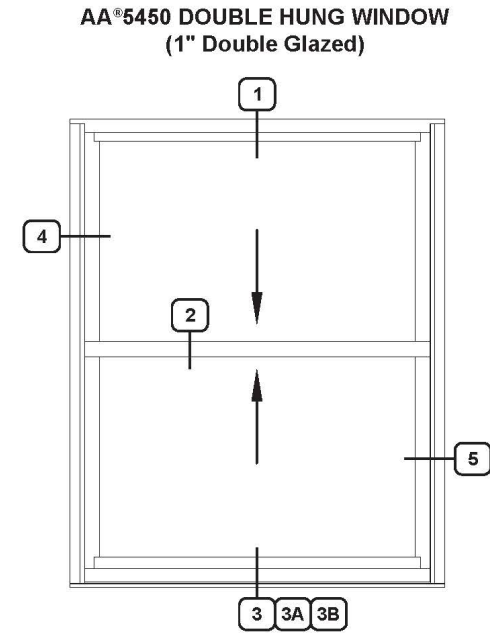
Wojan Window Type 3



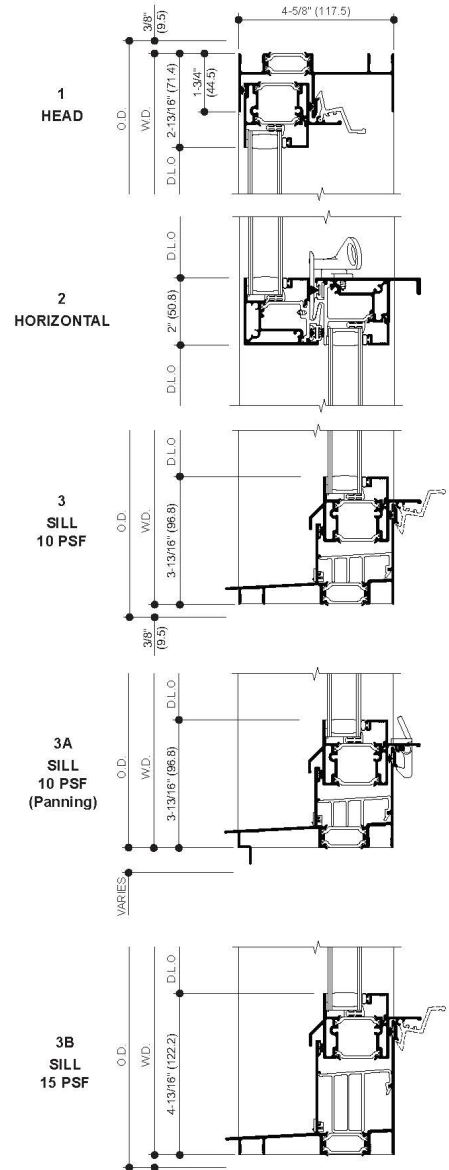
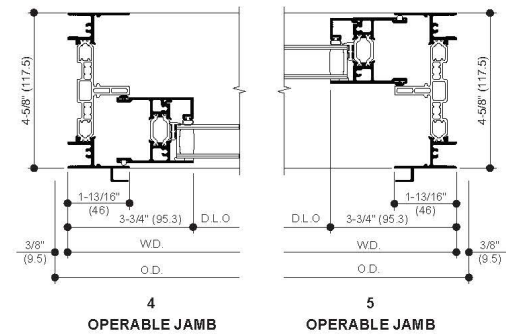
	PROJECT: CARRIAGE WORKS			CUSTOMER CONFIRMATION INITIAL: _____ DATE: _____ Please initial and date to APPROVE and ACCEPT this page.																	
	CUSTOMER: DBA G.L.A.S.S., INC.																				
3	CITY/STATE: CLEVELAND, OH			<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 5%;">NO.</th> <th style="width: 75%;">REVISIONS</th> <th style="width: 10%;">DATE</th> <th style="width: 10%;">BY</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>		NO.	REVISIONS	DATE	BY												
	NO.	REVISIONS	DATE			BY															
SCALE : NONE																					
DATE : 1/16/25	DRAWN BY : JMF	REF QUOTE# 131069																			
DO NOT SCALE THIS DRAWING																					

Window Type 5 - Kawneer

Additional information and CAD details are available at www.kawneer.com



TYPICAL ELEVATION
Log onto www.kawneer.com for other configurations



Note:
15 PSF sill also available for use with panning.

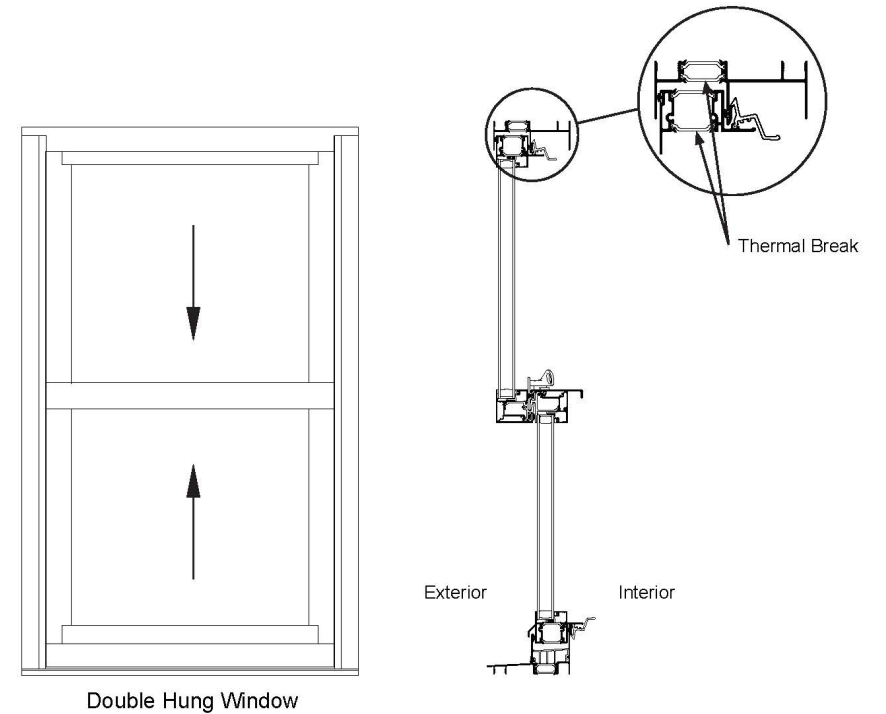
Laws and building and safety codes governing the design and use of Kawneer products, such as glazed entrance, window, and curtain wall products, vary widely. Kawneer does not assume responsibility for determining applicable codes, regulations, operating hardware, or glazing materials, and assumes no responsibility therefor.

Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.
© 2014, Kawneer Company, Inc.

Window Type 5 - Kawneer

Standard Features

- High Performance Architectural Grade Window
- Tested to U.S. and Canadian Standards
- Polyamide Thermal Break
- Screw and Spline Frame Corner Joinery
- Factory Silicone Glazed
- Interior Applied Glazing Bead
- Architectural Anodized Finishes and Applied Coatings
- Interior and Exterior Dual Finish Options
- Two Year Manufacturer's Warranty
- Optional Bevel Face



Double Hung Window

For specific product applications,
consult your Kawneer representative.

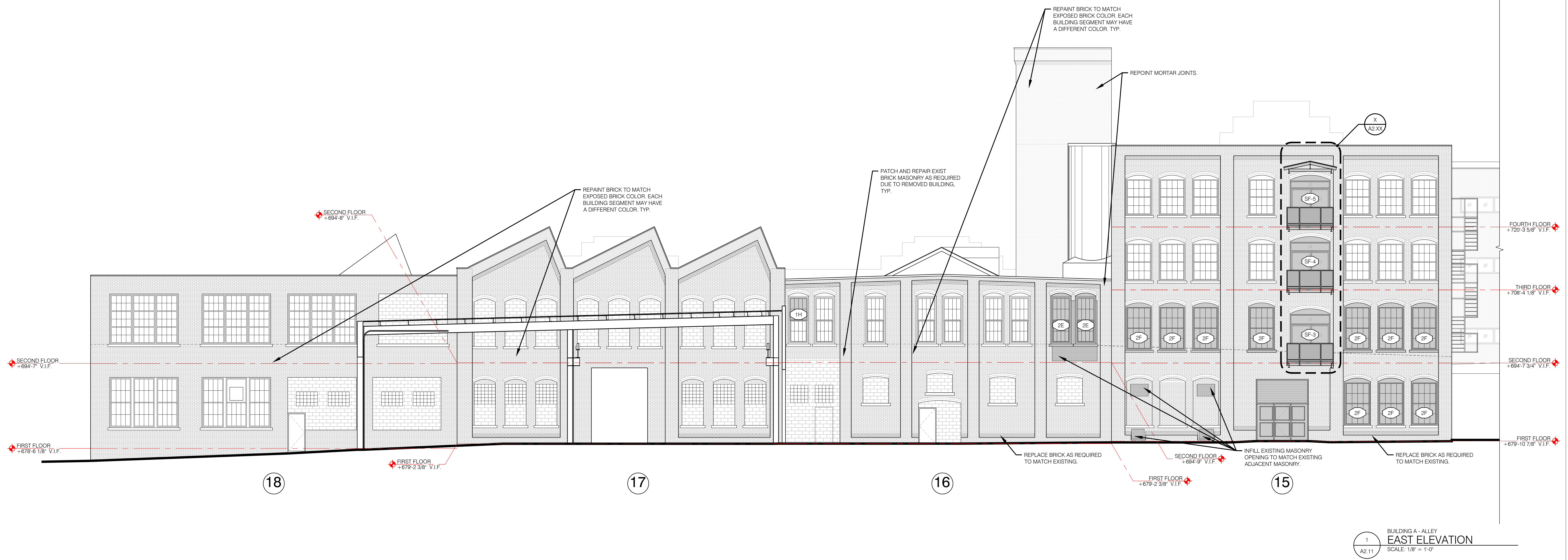
Window Type 5 - Kawneer

Laws and building and safety codes governing the design and use of Kawneer products, such as glazed entrance, window, and curtain wall products, vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.
© 2014, Kawneer Company, Inc.

CLASS and GRADE	CLASS AW-PG65-H
TESTING METHOD	AAMA / WDMA / CSA / 101 / I.S.2 / A440 (NAFS)
FRAME DEPTH	4-5/8" Overall Frame Depth
TYPICAL WALL THICKNESS	.070" Nominal
TYPICAL MAXIMUM WINDOW SIZE	60" x 99"
TYPICAL MINIMUM WINDOW SIZE	24" x 36"
TYPICAL CONFIGURATIONS	
STANDARD INFILL OPTIONS	1" and 1-1/2"
STANDARD HARDWARE	Heavy Duty Balances Zinc Die Cast Sweep Locks Sash Stops Aluminum Upper Sash Auto Lock
OPTIONAL HARDWARE	Aluminum or White Bronze Sill Auto Locks
OTHER OPTIONS	Between the Glass Muntins Historic Beveled Exterior Glazed-in Muntins (1-1/2" max. overall thickness) Exterior and Interior Tape Applied Muntins Perimeters and Sills Exterior Pannings and Interior Trims True Intermediate Muntin Structural Mullions Male/Female horizontally stacked H-Mullion for vertical stacking Strap Anchors

File [Y:\1\Projects\22-975 MRN Carriage Works\A - Alley.dwg] Plotted On: [12/13/2024 03:02:53 PM]



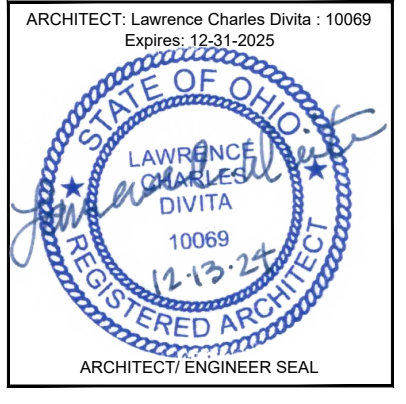
1 BUILDING A - ALLEY
EAST ELEVATION
SCALE: 1/8" = 1'-0"



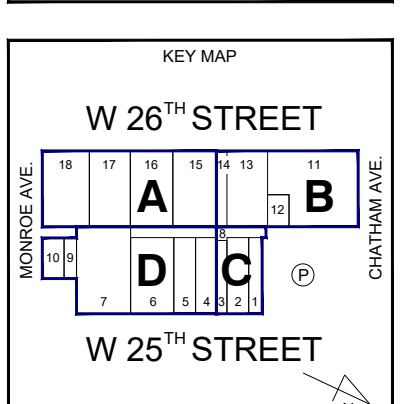
ARCHITECT OF RECORD
1320 Summer Ave.
Cleveland, Ohio 44115
216.456.4139
www.sagroup.com
SAgroup
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M.E.P. ENGINEER
who engineering
2012 West 25th St, Suite 900
Cleveland, Ohio 44113-1131
Office: (216) 227-8505
who-eng.com

CIVIL ENGINEER
RIVERSTONE
LANDSCAPE ARCHITECT
DERUlandscape architecture
812 North Road E, 4th Cleveland, OH 44115 | 216.466.4375
HISTORIC RESTORATION CONSULTANT
HP GROUP LLC
HISTORIC RESTORATION GROUP



THE CARRIAGE COMPANY
CLIENT OWNER
HISTORIC RENOVATION
PROJECT NAME
2168 W. 25th ST | Cleveland, Ohio 44113
LOCATION

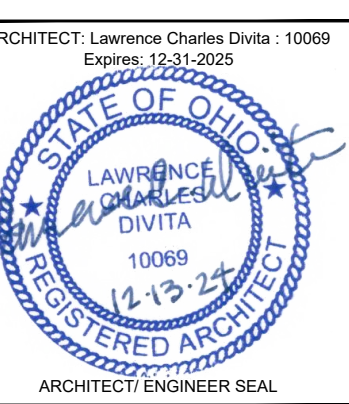


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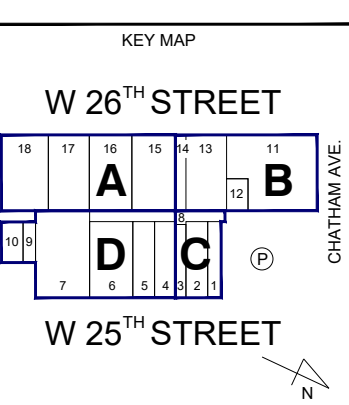
NO.	PURPOSE OF ISSUE	DATE
1	ISSUED FOR PERMIT	12-13-24

DRAWING TITLE
EAST ELEVATION
A - ALLEY
JOB# 1 DRAWN BY: TS REVIEWED BY: LD
22-975

DRAWING NUMBER
A2.11
ISSUE
A



THE CARRIAGE COMPANY
 HISTORIC RENOVATION
 2168 W. 25th ST | Cleveland, Ohio 44113



REVISION HISTORY:		
NO.	PURPOSE OF ISSUE	DATE
1	ISSUED FOR PERMIT	11-13-24

DRAWING TITLE	
EAST ELEVATION	
B - ALLEY	
JOB#	22-975
DRAWN BY	TS
REVIEWED BY	LD

DRAWING NUMBER	
A2.12	
ISSUE	
A	



BUILDING B - ALLEY
 EAST ELEVATION
 SCALE: 1/8" = 1'-0"

File [Y:\11-Projects\22-975 MRN Carriage Works\Drawings\CD\A2.13 Carriage Works - East Elevation C-Street.dwg | Plotted On: 12/13/2024 03:02:47 PM]



1 BUILDING C - STREET
 EAST ELEVATION
 SCALE: 1/8" = 1'-0"



ARCHITECT OF RECORD
 1300 Summer Ave.
 Cleveland, Ohio 44115
 216.456.4139
 www.carriageco.com
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who engineering
 2012 West 25th St, Suite 900
 Cleveland, Ohio 44113-1131
 Office: (216) 227-8505
 who-eng.com

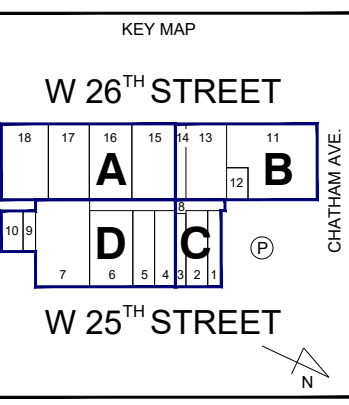
CIVIL ENGINEER
RIVERSTONE
 LAND SURVEYOR ENGINEER PROFESSIONAL ENGINEER
 10000 W. 130th St., Suite 100
 Overland Park, KS 66204

LANDSCAPE ARCHITECT
DERU landscape architecture
 812 North East 4th Cleveland, OH 44115 | 216.466.4335

HISTORIC RESTORATION CONSULTANT
HP GROUP LLC
 HISTORIC RESTORATION GROUP



THE CARRIAGE COMPANY
 CLIENT / OWNER
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 LOCATION



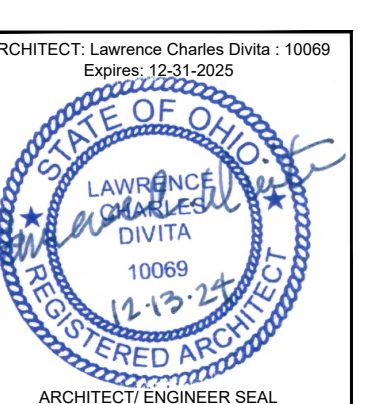
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NO.	PURPOSE OF ISSUE	DATE
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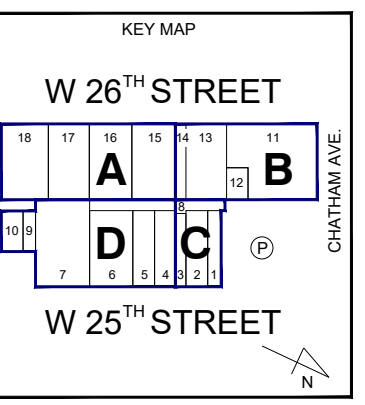
DRAWING TITLE
EAST ELEVATION
C - STREET
 JOB# | DRAWN BY | REVIEWED BY:
 22-975 | TS | LD

DRAWING NUMBER:
A2.13
 ISSUE:
A

File [Y:\1\Projects\22-975 MRN Carriage Works\A - East Elevation D Street.dwg | Pinned On: 12/13/2024 03:02:43 PM]



THE CARRIAGE COMPANY
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 PROJECT NAME
2168 W. 25th ST | Cleveland, Ohio 44113
 LOCATION



REVISION HISTORY:		
NO.	PURPOSE OF ISSUE	DATE
1	ISSUED FOR PERMIT	12-13-24

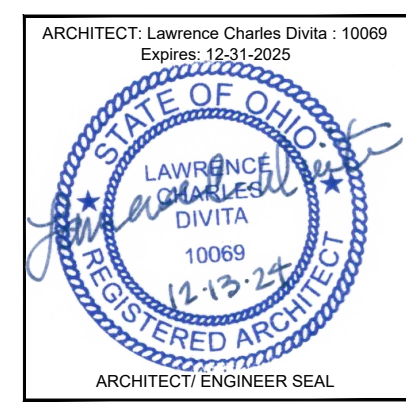
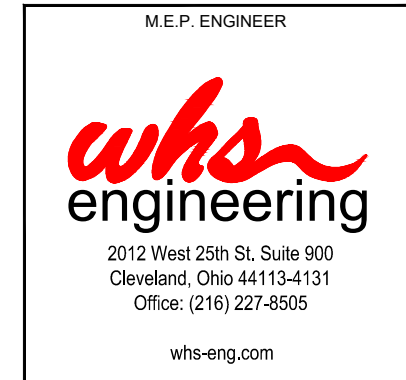
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EAST ELEVATION
D - STREET
 JOB# | DRAWN BY | REVIEWED BY
 22-975 | TS | LD

DRAWING NUMBER
A2.14
 ISSUE
A

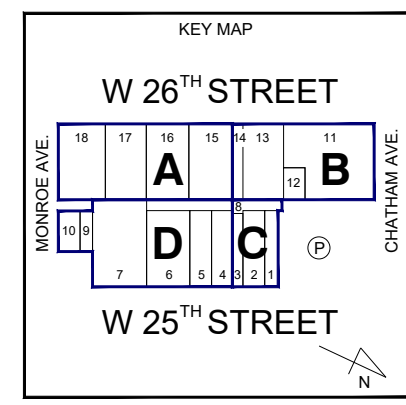
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1 BUILDING A - STREET
WEST ELEVATION
SCALE: 1/8" = 1'-0"



THE CARRIAGE COMPANY
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PROJECT NAME
2168 W. 25th ST | Cleveland, Ohio 44113
LOCATION



REVISION HISTORY:

NO.	PURPOSE OF ISSUE	DATE
1	ISSUED FOR PERMIT	12-13-24

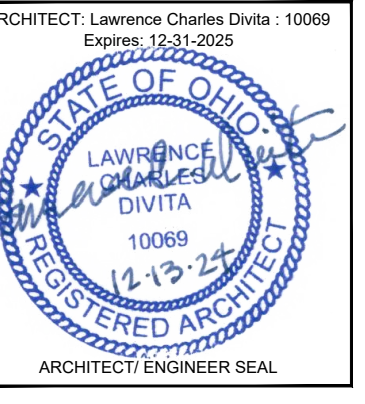
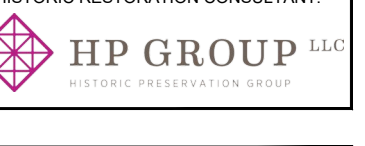
DRAWING TITLE
WEST ELEVATION
A - STREET
JOB# 1 DRAWN BY: TS REVIEWED BY: LD

DRAWING NUMBER:
A2.21
ISSUE:
A

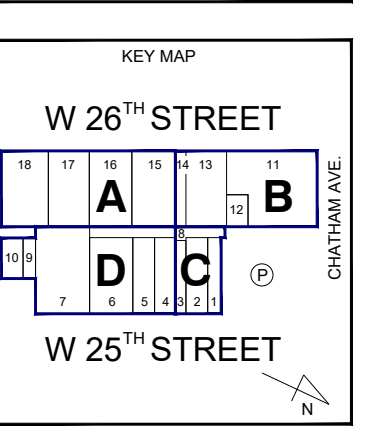
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1
A2.22 BUILDING B - STREET
WEST ELEVATION
SCALE: 1/8" = 1'-0"



THE CARRIAGE COMPANY
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 PROJECT NAME
 2168 W. 25th ST | Cleveland, Ohio 44113
 LOCATION



REVISION HISTORY:

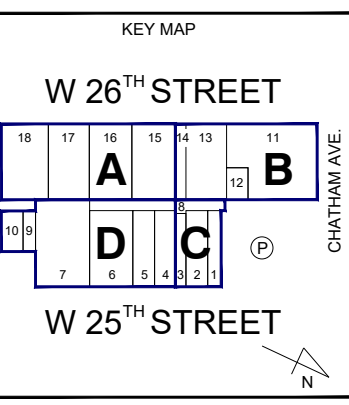
NO.	PURPOSE OF ISSUE	DATE
1	ISSUED FOR PERMIT	12-13-24

DRAWING TITLE
WEST ELEVATION B - STREET
 JOB# | DRAWN BY | REVIEWED BY
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DRAWING NUMBER:
A2.22
 ISSUE:
A



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LOCATION

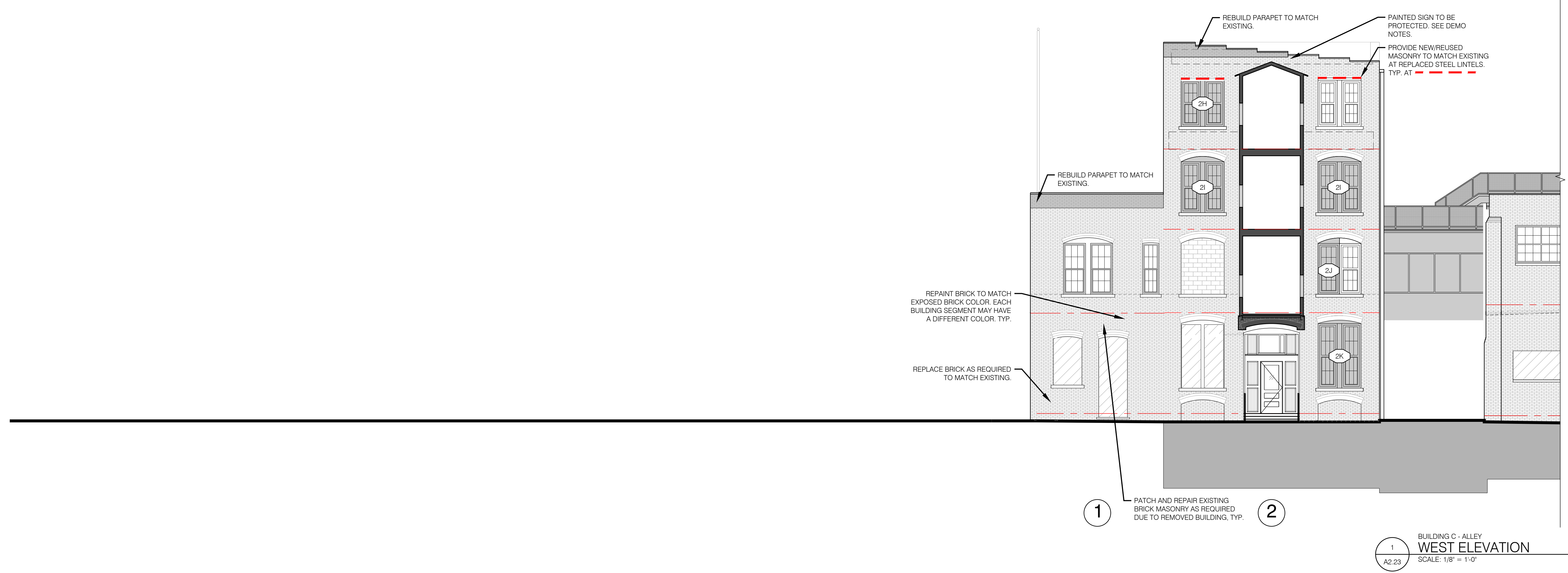


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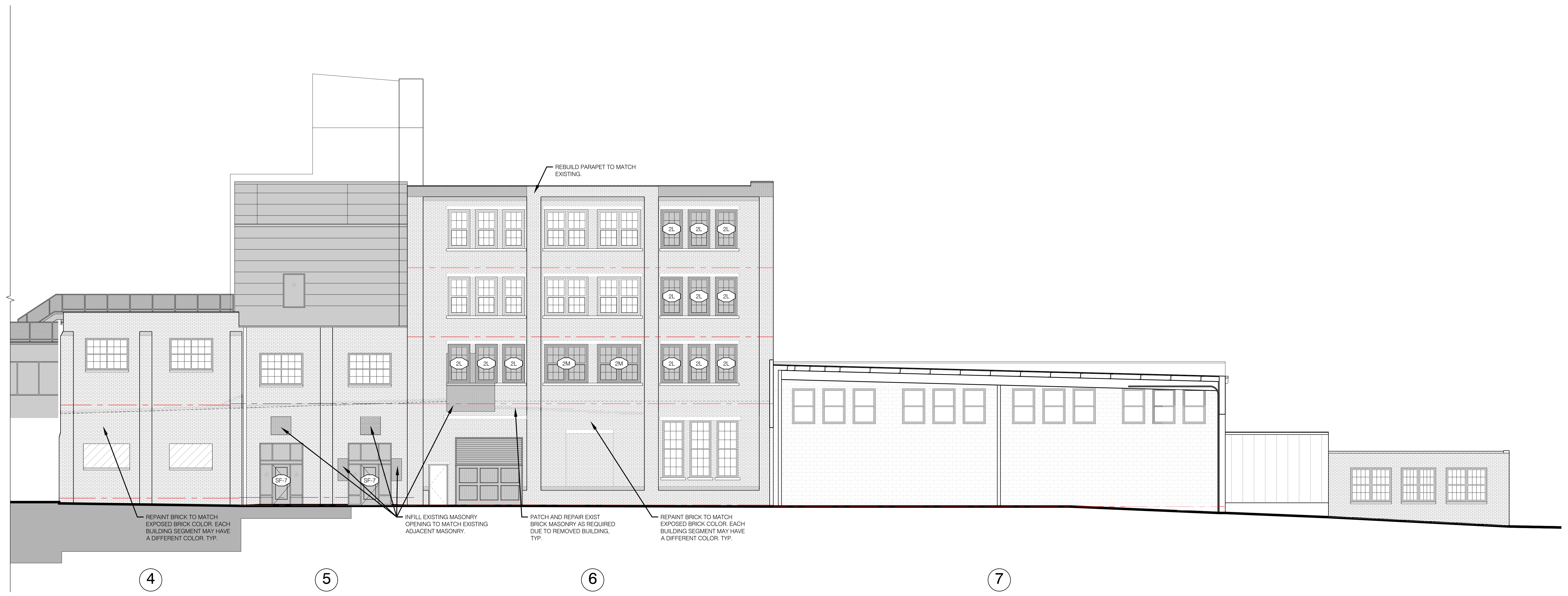
NO.	PURPOSE OF ISSUE	DATE
1	ISSUED FOR PERMIT	11-21-24

DRAWING TITLE:
WEST ELEVATION
C - ALLEY
 JOB# | DRAWN BY | REVIEWED BY:
 22-975 | TS | LD

DRAWING NUMBER:
A2.23
 ISSUE:
A



File [Y:\11-Projects\22-975 MRN Carriage Works\A - West Elevation D-Alley.dwg] Plotted On: [12/13/2024 03:02:31 PM]



1 BUILDING D - ALLEY
 WEST ELEVATION
 SCALE: 1/8" = 1'-0"



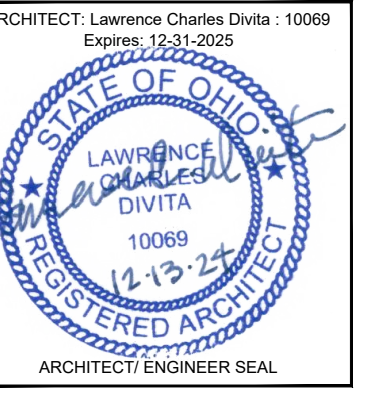
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who
 engineering
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 Cleveland, Ohio 44113-1131
 Office: (216) 227-8505
 who-eng.com

CIVIL ENGINEER
RIVERSTONE
 LAND SURVEYOR ENGINEER PROFESSIONAL DESIGNER
 10000 W. 130th St., Suite 100
 Cleveland, Ohio 44130

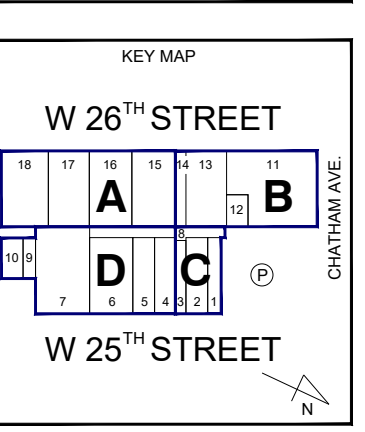
LANDSCAPE ARCHITECT
DERUlandscape architecture
 812 North Road E, 4th Cleveland, OH 44115 | 216.466.4375

HISTORIC RESTORATION CONSULTANT
HP GROUP LLC
 HISTORIC RESTORATION GROUP



ARCHITECT: Lawrence Charles Divita - 10099
 Expires: 12/31/2029

THE CARRIAGE COMPANY
 CLIENT/OWNER
HISTORIC RENOVATION
 PROJECT NAME
 2168 W. 25th ST | Cleveland, Ohio 44113
 LOCATION

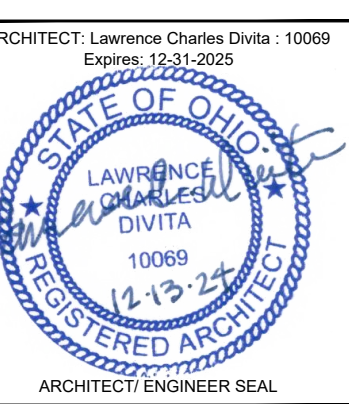


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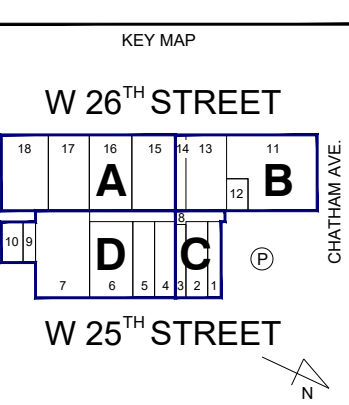
NO.	PURPOSE OF ISSUE	DATE
1	ISSUED FOR PERMIT	12-13-24

DRAWING TITLE
WEST ELEVATION
D - ALLEY
 JOB# | DRAWN BY | REVIEWED BY:
 22-975 | TS | LD

DRAWING NUMBER
A2.24
 ISSUE
A



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 PROJECT NAME
 2168 W. 25th ST | Cleveland, Ohio 44113
 LOCATION



REVISION HISTORY:

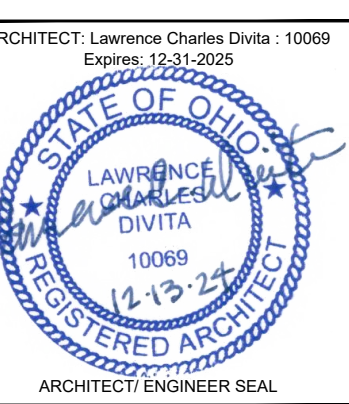
NO.	PURPOSE OF ISSUE	DATE
1	ISSUED FOR PERMIT	12-13-24

DRAWING TITLE
NORTH ELEVATION
BB&C - STREET
 JOB# | DRAWN BY | REVIEWED BY
 22-975 | TS | LD

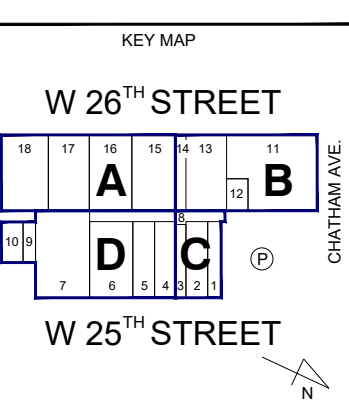
DRAWING NUMBER
A2.31
 ISSUE
A



1 BUILDING BB&C - STREET
 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



THE CARRIAGE COMPANY
 CLIENT OWNER
 HISTORIC RENOVATION
 PROJECT NAME
 2168 W. 25th ST | Cleveland, Ohio 44113
 LOCATION

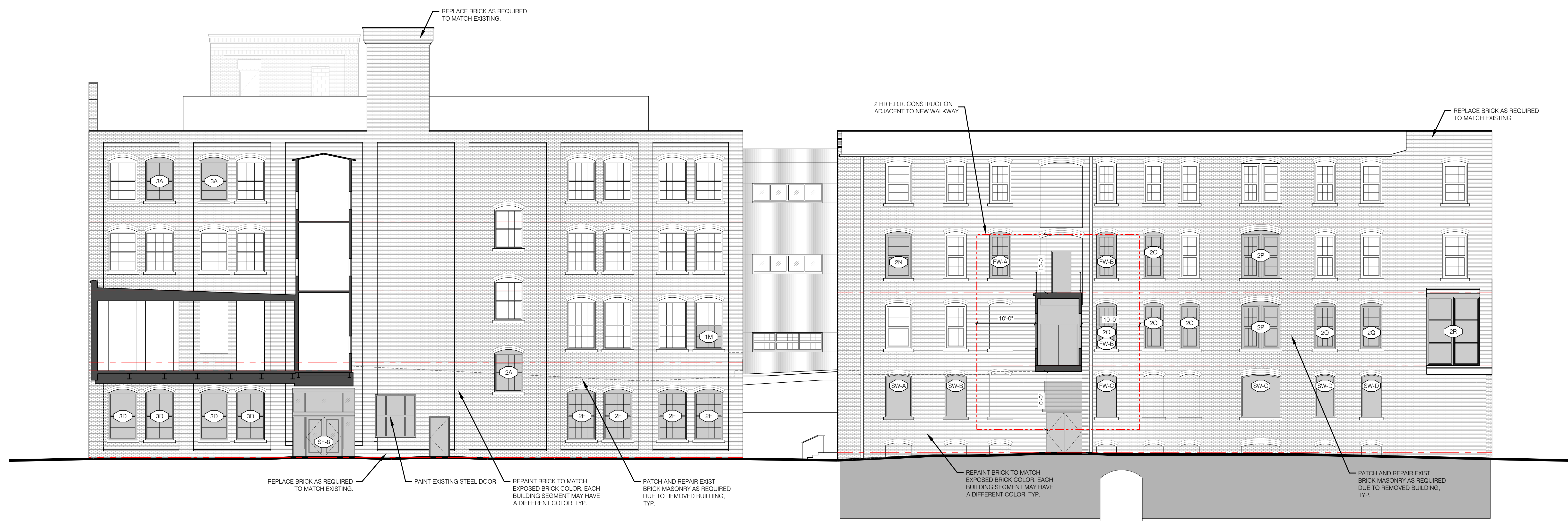


REVISION HISTORY:

NO.	PURPOSE OF ISSUE	DATE
1	ISSUED FOR PERMIT	11-13-24

DRAWING TITLE
SOUTH ELEVATION
BB&C - ALLEY
 JOB# | DRAWN BY: | REVIEWED BY:
 22-975 | TS | LD

DRAWING NUMBER:
A2.41
 ISSUE:
11-13-24



REPLACE BRICK AS REQUIRED TO MATCH EXISTING.
 PAINT EXISTING STEEL DOOR
 REPAINT BRICK TO MATCH EXPOSED BRICK COLOR. EACH BUILDING SEGMENT MAY HAVE A DIFFERENT COLOR, TYP.
 PATCH AND REPAIR EXIST BRICK MASONRY AS REQUIRED DUE TO REMOVED BUILDING, TYP.

2 HR F.R.R. CONSTRUCTION ADJACENT TO NEW WALKWAY

REPLACE BRICK AS REQUIRED TO MATCH EXISTING.

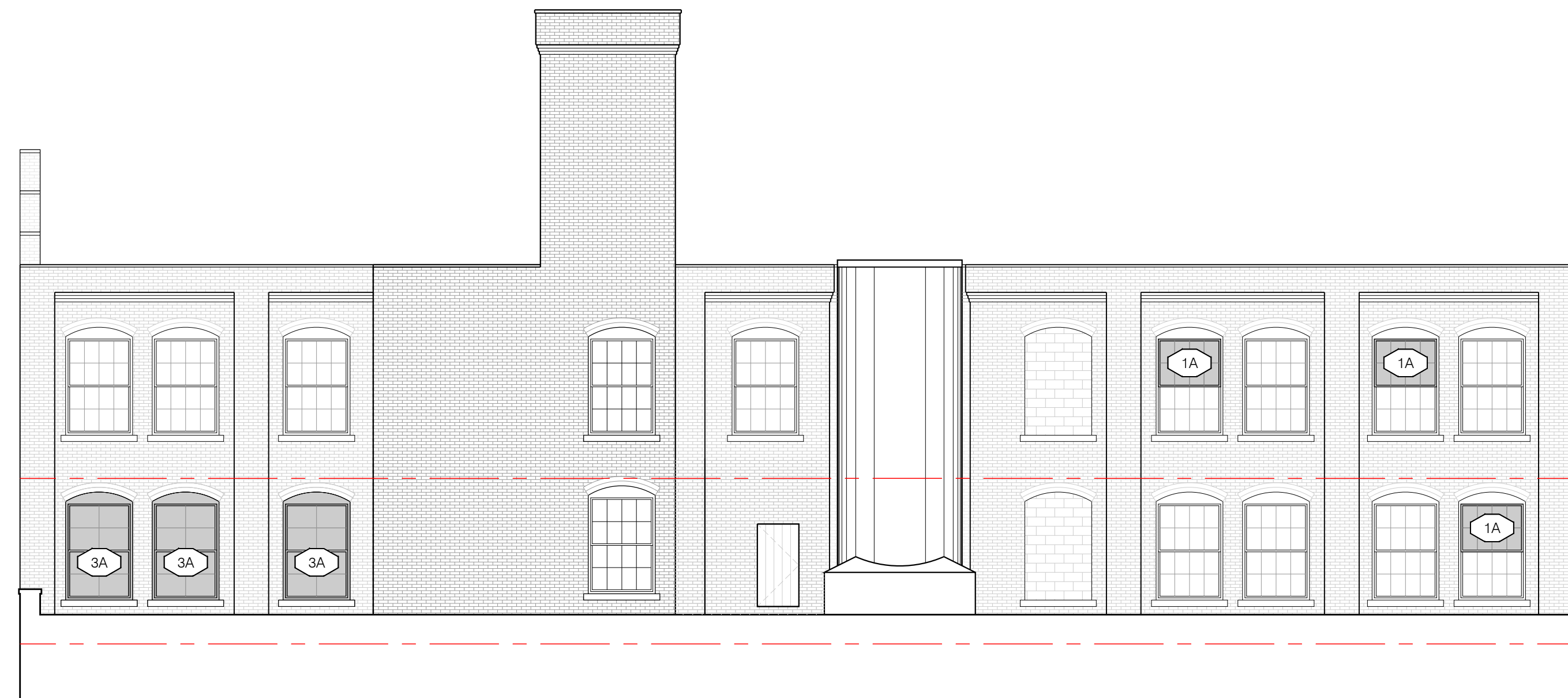
REPAINT BRICK TO MATCH EXPOSED BRICK COLOR. EACH BUILDING SEGMENT MAY HAVE A DIFFERENT COLOR, TYP.

PATCH AND REPAIR EXIST BRICK MASONRY AS REQUIRED DUE TO REMOVED BUILDING, TYP.

13

2

BUILDING B&C - ALLEY
 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



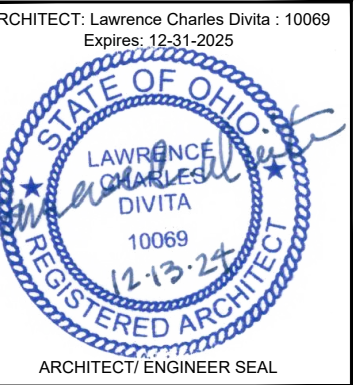
2 BUILDING A - STREET
SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



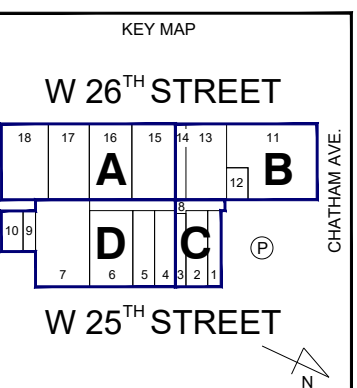
18

7

1 BUILDING A&D - STREET
SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



THE CARRIAGE COMPANY
CLIENT OWNER
HISTORIC RENOVATION
PROJECT NAME
2168 W. 25th ST | Cleveland, Ohio 44113
LOCATION

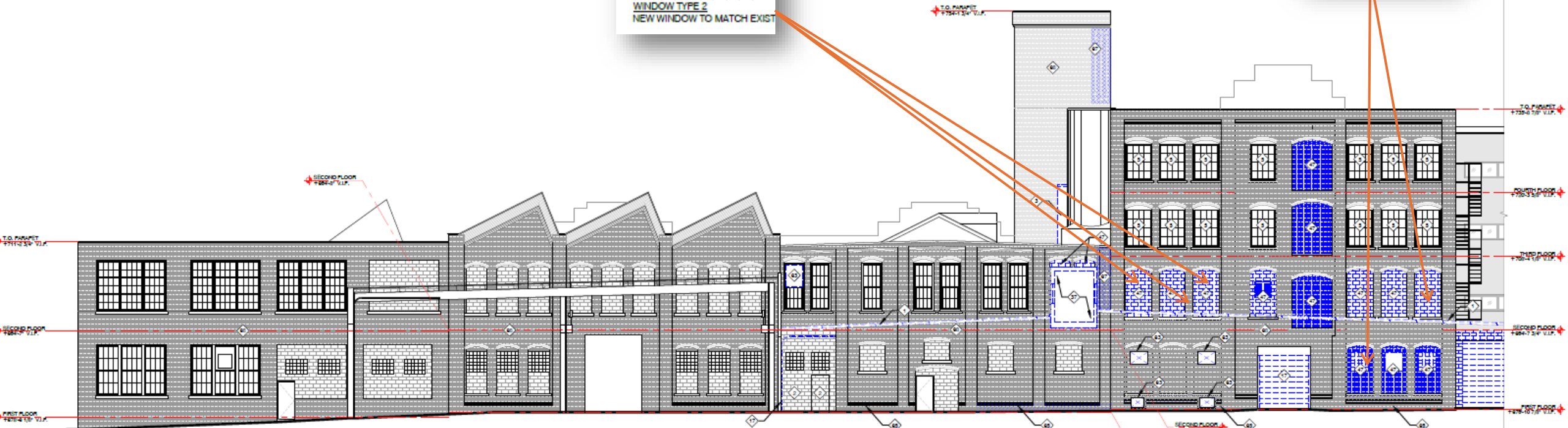
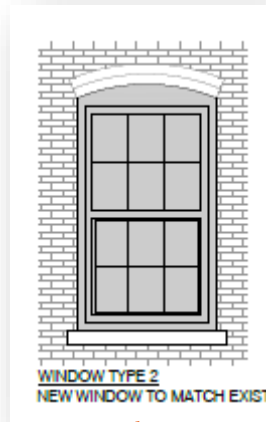
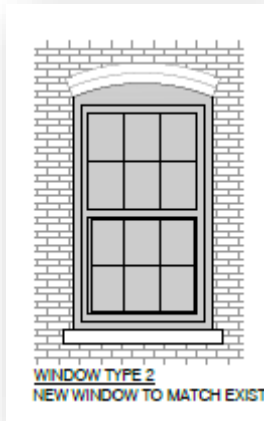


REVISION HISTORY:

NO.	PURPOSE OF ISSUE	DATE
1	ISSUED FOR PERMIT	12-13-24

DRAWING TITLE:
SOUTH ELEVATION
BA&D - STREET
JOB# | DRAWN BY | REVIEWED BY:
22-975 | TS | LD

DRAWING NUMBER:
A2.42
ISSUE:
A



18
 18 EAST FACADE MASONRY
 2,244 SF MASONRY AREA
 20% REPORTING AREA
 1% REPLACEMENT AREA

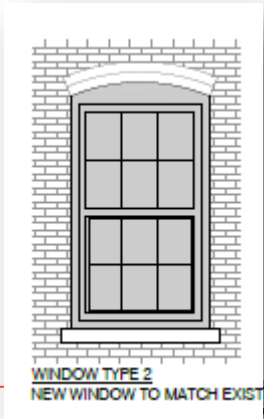
17
 17 EAST FACADE MASONRY
 1,280 SF MASONRY AREA
 20% REPORTING AREA
 1% REPLACEMENT AREA

16
 16 EAST FACADE MASONRY
 2,124 SF MASONRY AREA
 20% REPORTING AREA
 1% REPLACEMENT AREA

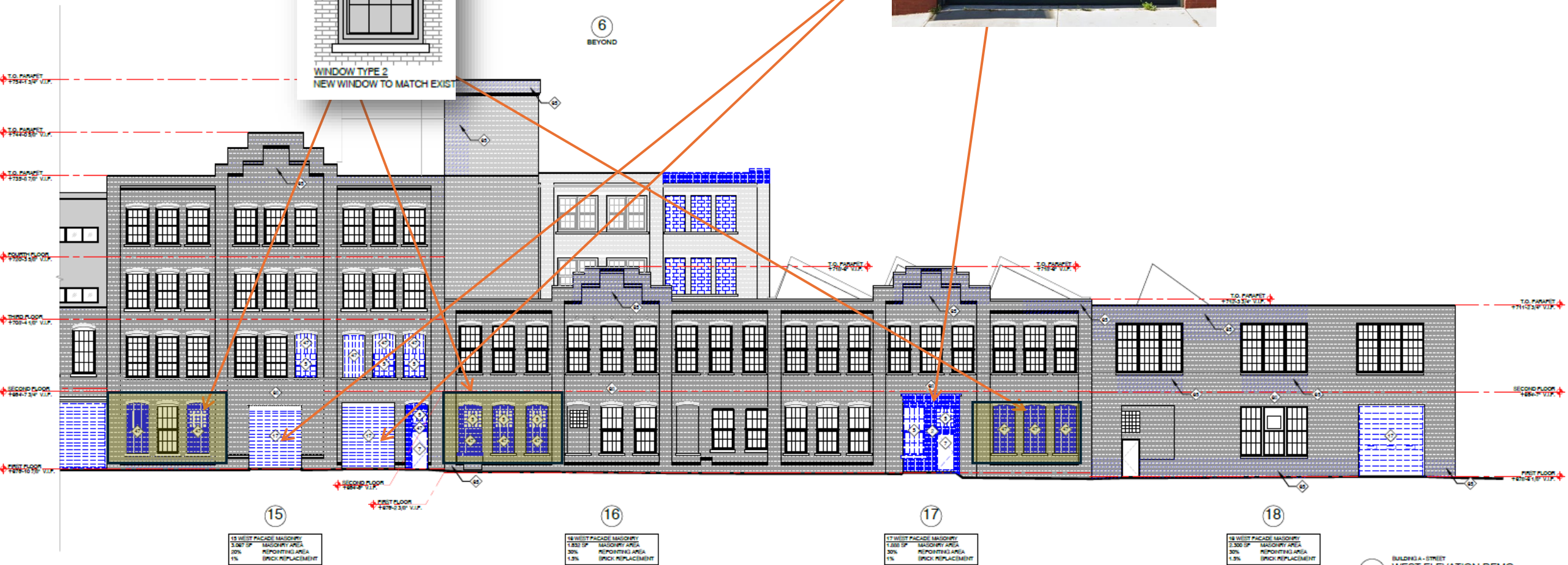
15
 15 EAST FACADE MASONRY
 2,340 SF MASONRY AREA
 20% REPORTING AREA
 1% REPLACEMENT AREA

Voss Building





6
BEYOND



15
15 WEST FACADE MASONRY
3,067 SF MASONRY AREA
30% REPOINTING AREA
1% BRICK REPLACEMENT

16
16 WEST FACADE MASONRY
1,832 SF MASONRY AREA
30% REPOINTING AREA
1.5% BRICK REPLACEMENT

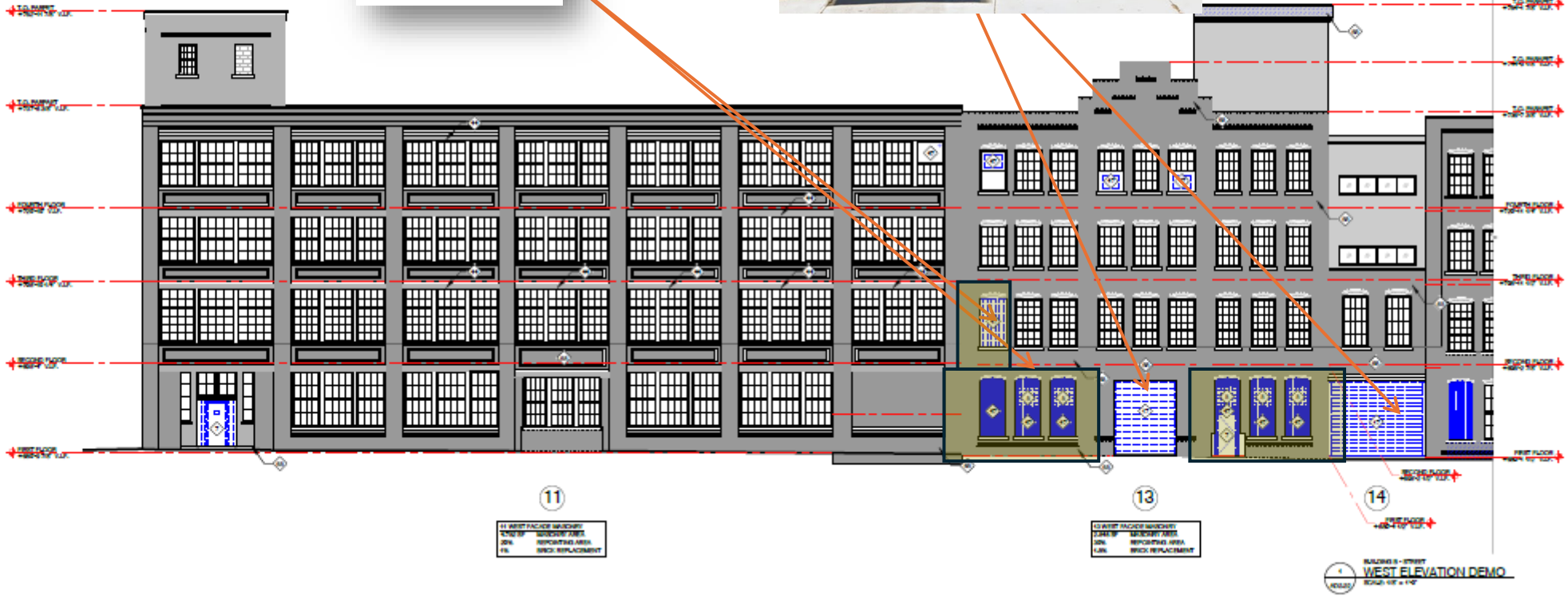
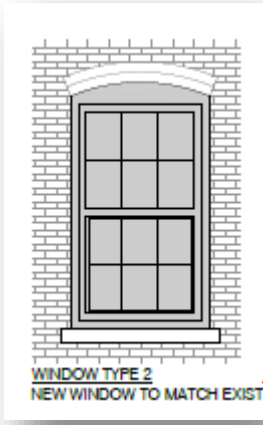
17
17 WEST FACADE MASONRY
1,333 SF MASONRY AREA
30% REPOINTING AREA
1% BRICK REPLACEMENT

18
18 WEST FACADE MASONRY
2,300 SF MASONRY AREA
30% REPOINTING AREA
1.5% BRICK REPLACEMENT

🔍 Voss Building







THE CARRIAGE COMPANY
HISTORIC RENOVATION
2168 W. 29th ST | Cleveland, Ohio 44113



NO.	DATE	DESCRIPTION	BY

WEST
ELEV. DEMO
B - STREET

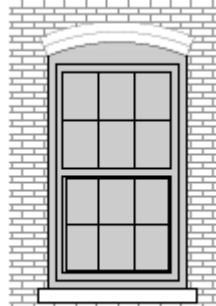
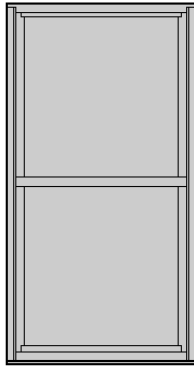
AD2.22
A

Voss Aerospace

MS
D
5
1
0
MISSION

Voss Building





WINDOW TYPE 2
NEW WINDOW TO MATCH EXIST

T.O. PARAPET
+736-5 3/4" V.I.F.

WINDOW TYPE 5
NEW WINDOW

FOURTH FLOOR
+720-6 7/8" V.I.F.

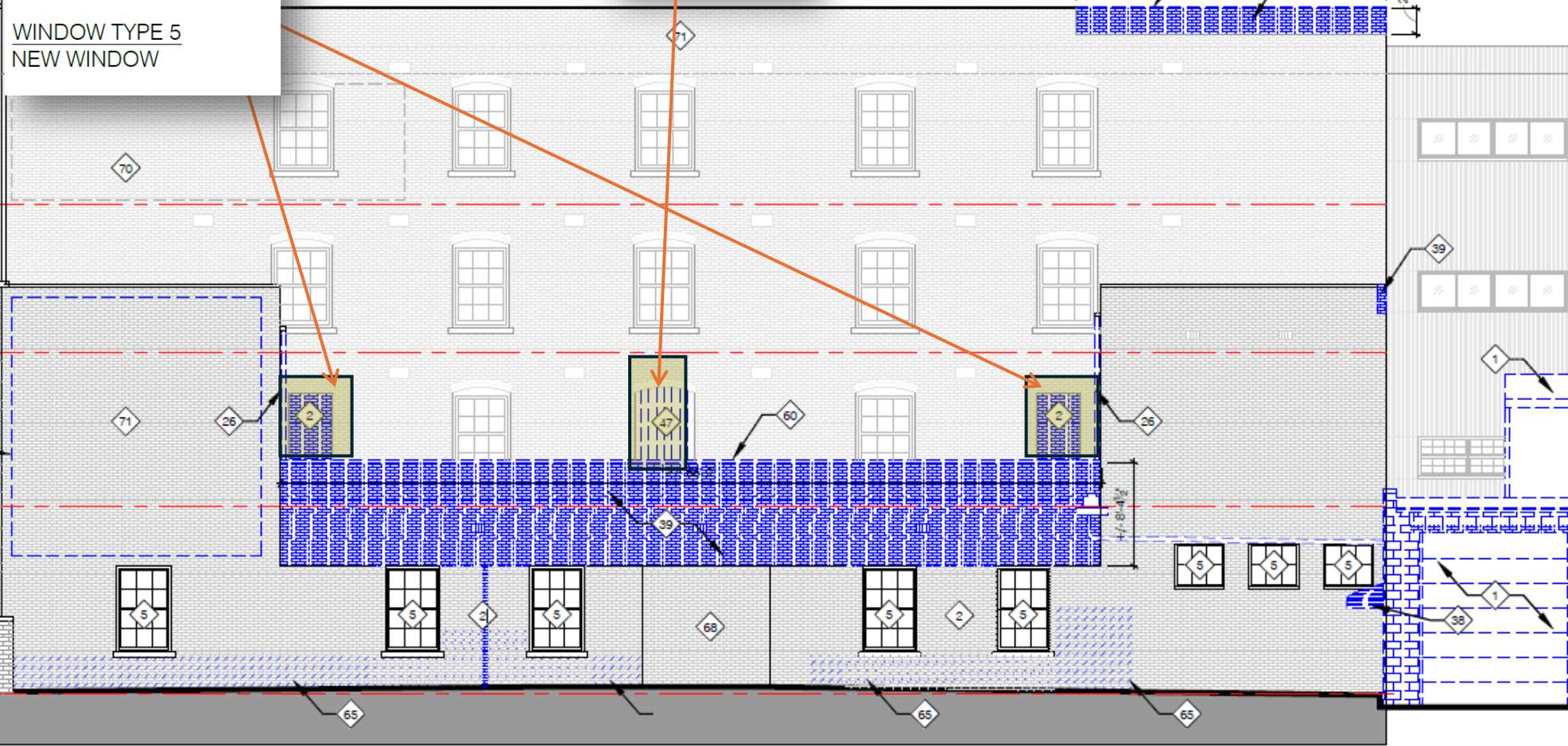
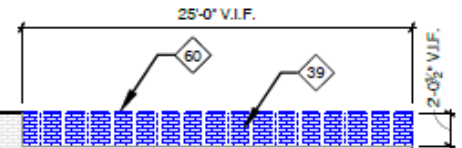
T.O. PARAPET
+714-0 7/8" V.I.F.

THIRD FLOOR
+708-7 5/8" V.I.F.

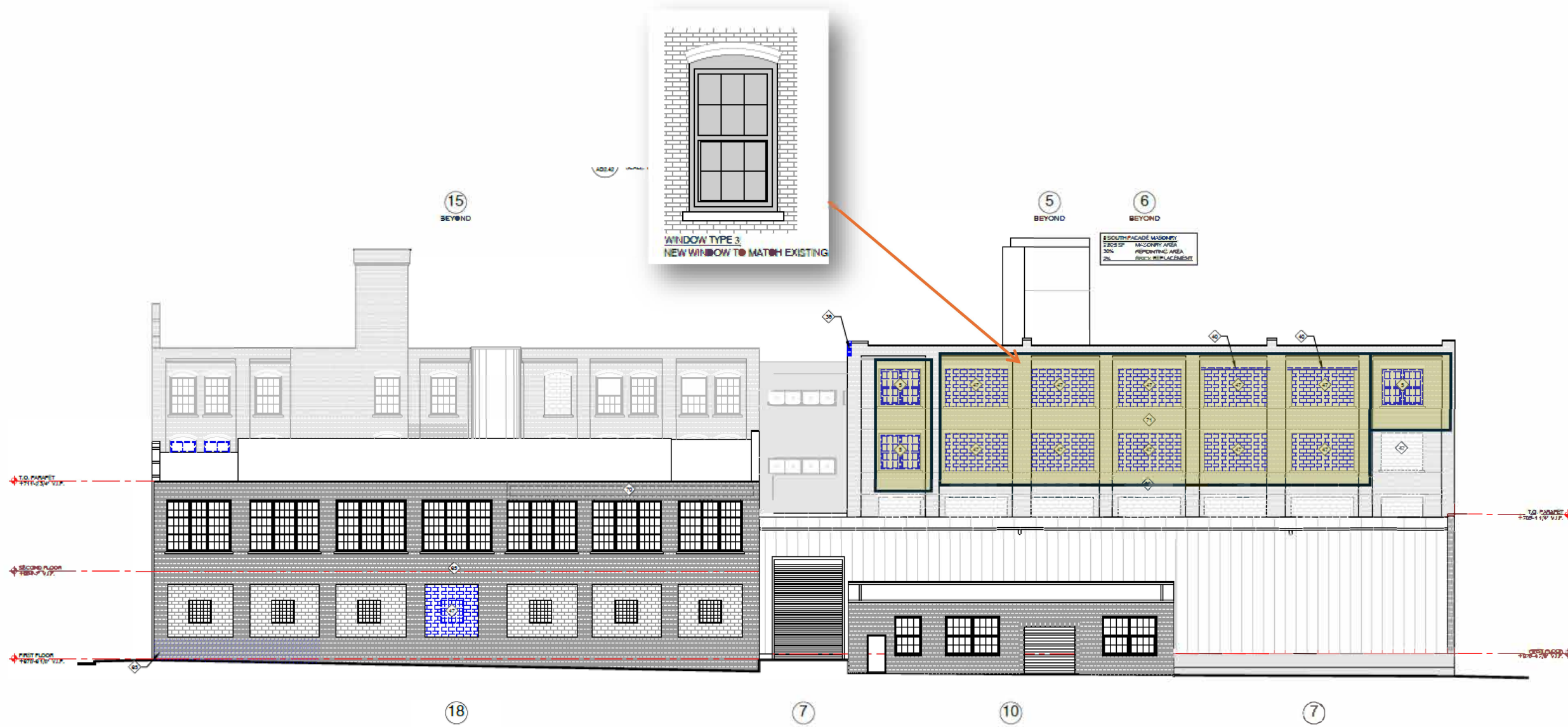
VERIFY IF ANY HISTORIC
SIGNAGE REMAINS

SECOND FLOOR
+696-1 7/8" V.I.F.

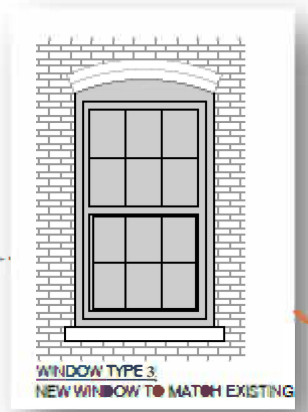
FIRST FLOOR
+681-2 3/8" V.I.F.







15
BEYOND



5
BEYOND

6
BEYOND

SOUTH FACADE MASONRY
2.5\"/>

TO PARAPET
+111.25' V.T.P.

SECOND FLOOR
+78.4' V.T.P.

FIRST FLOOR
+72.4' V.T.P.

TO PARAPET
+111.25' V.T.P.

TO GROUND
+72.4' V.T.P.

18

18 SOUTH FACADE MASONRY
2.5\"/>

7

10

7

1
ADD 42

BUILDING AND STREET
SOUTH ELEVATION DEMO
SCALE: 1/8" = 1'-0"

Case 25-008

Certificate of Appropriateness

Lorain Avenue Historic District

4810 Lorain Avenue

Demolition

Project Representatives: Kurt Weaver, Architect

Ward 3: Councilmember McCormack



4810 Lorain
Cleveland, Ohio

proposed Replacement Office

January 30, 2025

4810 Lorain Avenue

Cleveland, Ohio

LANDMARKS PRESENTATION

PROPOSED

REPLACEMENT OFFICE

Request for Demolition ONLY



4810 Lorain
Cleveland, Ohio

proposed Replacement Office

January 30, 2025

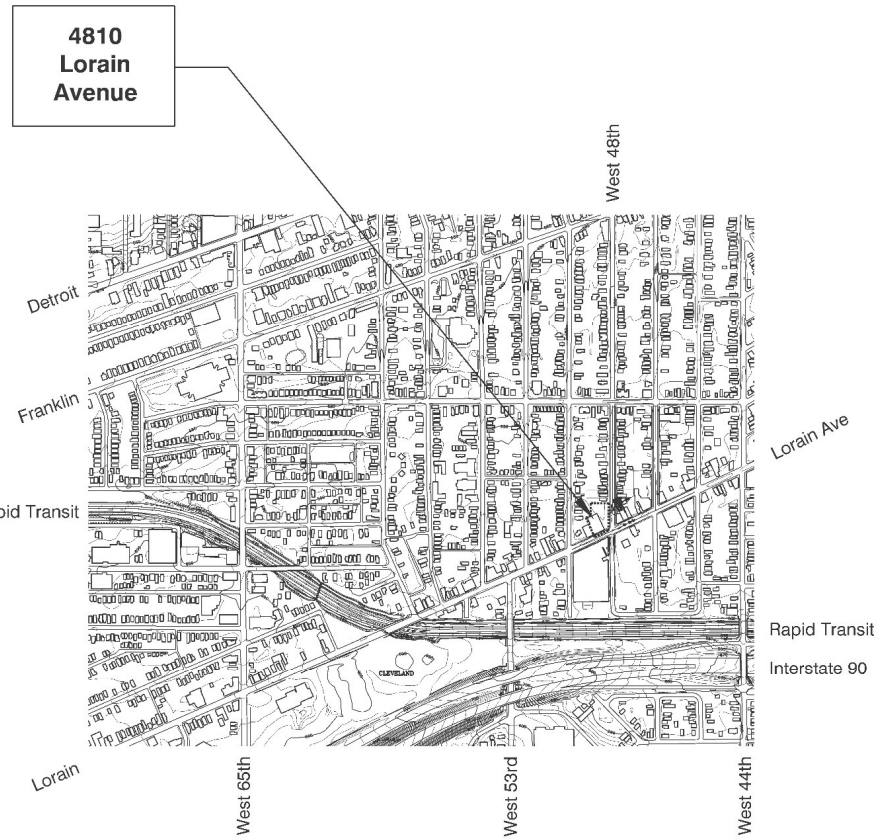
MAP showing LOCATION

THE SUBJECT PROPERTY IS LOCATED ON THE NW CORNER OF LORAIN AVENUE & WEST 48th STREET.

THIS IS A BUSY LOCATION WITH THE URBAN SCHOOL ACROSS THE STREET.

THE SITE CONTAINED A n. 80' x 133' SINGLE STORY MASONRY BEARING WALL STRUCTURE OF n. 10,640 S.F. THE STRUCTURE INCLUDED A STRUCTURAL STEEL SUPPORTED MEZZANINE & STEEL FRAME METAL ROOF.

THE STRUCTURE WAS COMPLETELY DESTROYED IN A FIRE EVENT THAT OCCURRED IN EARLY DECEMBER 2024.



A Location Plan

NO SCALE



4810 Lorain
Cleveland, Ohio

proposed Replacement Office

January 30, 2025

HISTORY of the BUILDING / SITE

THE CUYAHOGA COUNTY AUDITOR'S WEBSITE PROVIDES THE FOLLOWING INFORMATION OF THE PROPERTY:

PPN: 002 – 34 – 074

4810 LORAIN, LLC
4810 LORAIN AVENUE
CLEVELAND, OHIO 44102

ONE STORY
BUILT IN 1963
FIRE RESISTANT FRAMING, CNC BLK
720 S.F. OFFICE
CONSTRUCTION CLASS C
USABLE AREA: 10,480 S.F.
DATE REMODELED 1971
ROOFING TYPE: GABLE
MEZZANINE AREA: 3,920 S.F.
HEAT TYPE: FORCED AIR
SLAB ON GRADE
CONDITION: AVERAGE
ROOF COVERING: COMPOSITION



4810 Lorain
Cleveland, Ohio

proposed Replacement Office

January 30, 2025

BLDG

CURRENT IMAGES
of the PROPERTY &
SURROUNDINGS

SOUTH
Lorain Avenue
ELEVATION



4810 Lorain
Cleveland, Ohio

proposed Replacement Office

January 30, 2025

BLDG

CURRENT IMAGES
of the PROPERTY &
SURROUNDINGS

EAST ELEVATION



4810 Lorain
Cleveland, Ohio

proposed Replacement Office

January 30, 2025

BLDG

CURRENT IMAGES
of the PROPERTY &
SURROUNDINGS

NORTH ELEVATION
Looking from the NE



4810 Lorain
Cleveland, Ohio

proposed Replacement Office

January 30, 2025

BLDG

CURRENT IMAGES
of the PROPERTY &
SURROUNDINGS

NORTH portion of
WEST ELEVATION



4810 Lorain
Cleveland, Ohio

proposed Replacement Office

January 30, 2025

DETAIL

DETAIL IMAGES of
the DAMAGED
STRUCTURE

SOUTH ELEVATION:

WEST BLDG FAÇADE PORTION



4810 Lorain
Cleveland, Ohio

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January 30, 2025

DETAIL

DETAIL IMAGES of
the DAMAGED
STRUCTURE

EAST ELEVATION:

SOUTH PORTION

FRONT ROOF



4810 Lorain
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January 30, 2025

DETAIL

DETAIL IMAGES of
the DAMAGED
STRUCTURE

NORTH ELEVATION:

WEST OVERHEAD DOOR



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Cleveland, Ohio

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DETAIL

DETAIL IMAGES of
the DAMAGED
STRUCTURE

NORTH ELEVATION:

EAST PORTION



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January 30, 2025

CONTEXT

IMAGES of the
SURROUNDING
NEIGHBORHOOD

ADJACENT WEST:

2 STORY PERIOD STRUCTURE;
STOREFRONT BELOW,
APARTMENT(S) ABOVE



4810 Lorain
Cleveland, Ohio

proposed Replacement Office

January 30, 2025

CONTEXT

IMAGES of the
SURROUNDING
NEIGHBORHOOD

OPPOSITE EAST:

2 STORY PERIOD STRUCTURE;
STOREFRONT BELOW,
APARTMENT(S) ABOVE



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January 30, 2025

CONTEXT

IMAGES of the
SURROUNDING
NEIGHBORHOOD

OPPOSITE SOUTH & EAST:
METROHEALTH



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Cleveland, Ohio

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January 30, 2025

CONTEXT

IMAGES of the
SURROUNDING
NEIGHBORHOOD

OPPOSITE SOUTH:

URBAN SCHOOL



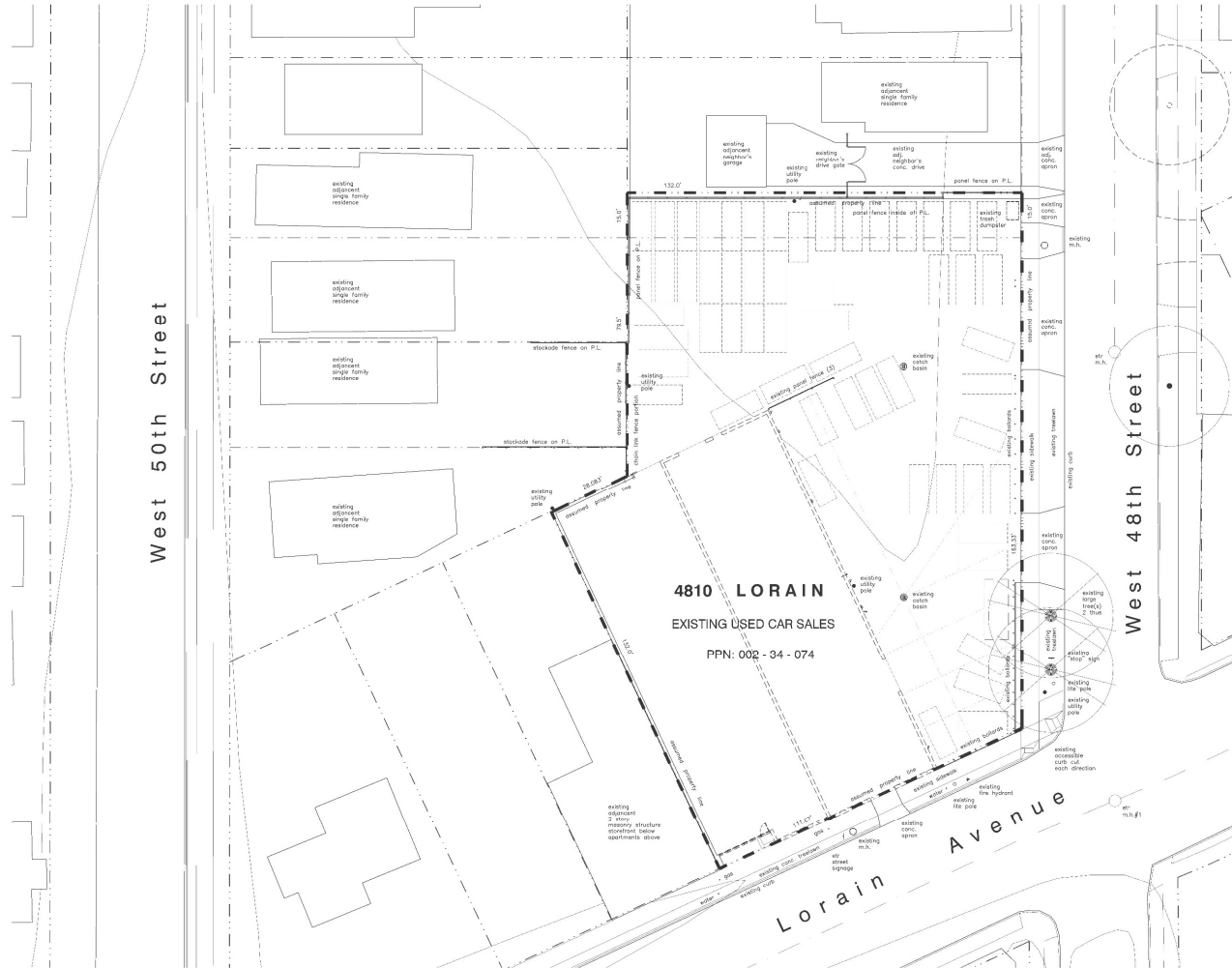
4810 Lorain
Cleveland, Ohio

proposed Replacement Office

January 30, 2025

MEASURED SITE PLAN EXISTING CONDITIONS CONTEXT

AKW, Inc. Project. No. 2444
Drawing Set dated 07 Jan. 2025
Submitted for Building Permit:
1.8.2025
Record: B25000956



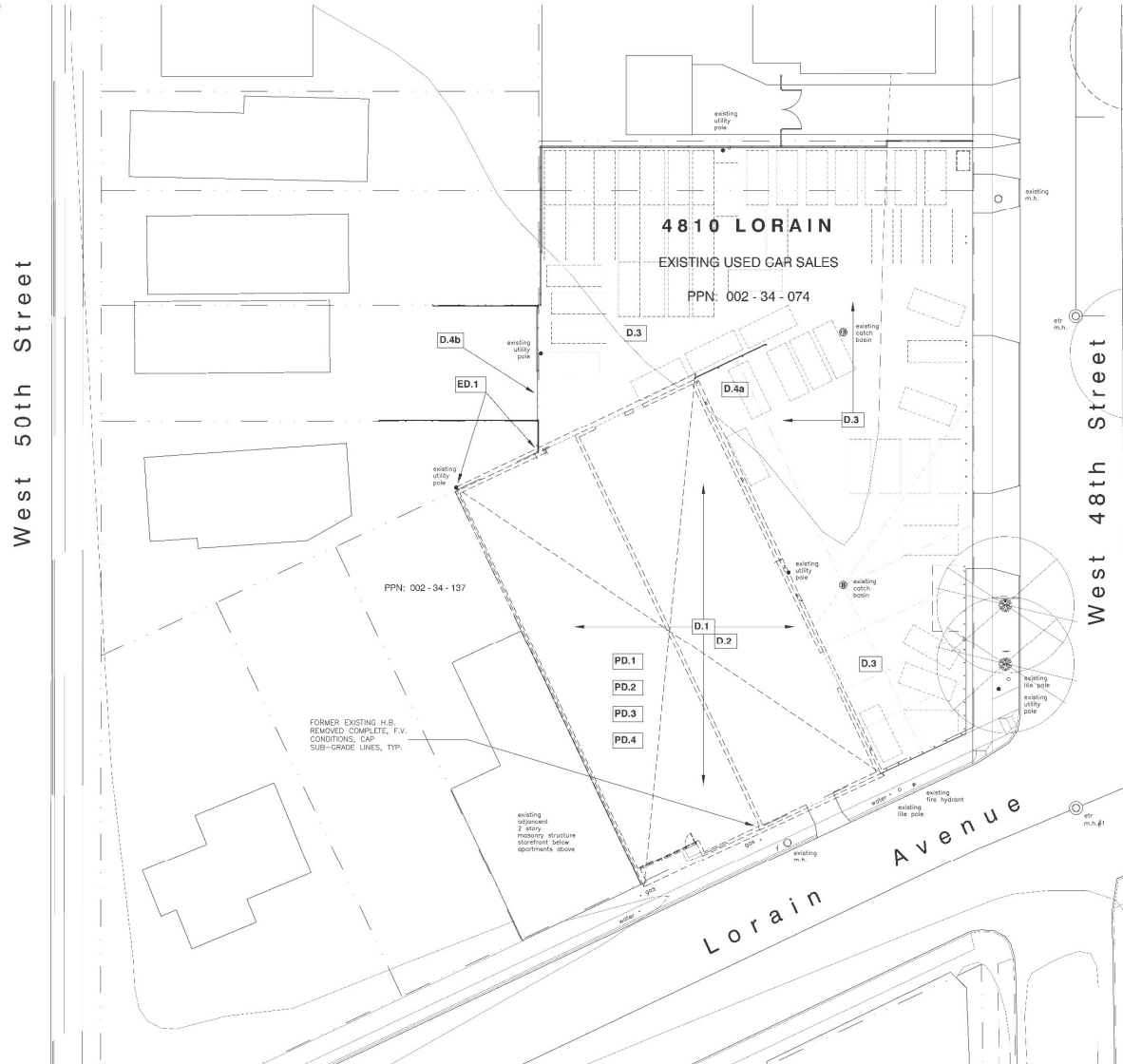
4810 Lorain
Cleveland, Ohio

SITE PLAN Preparation/ Selective Demolition Plan

INCLUDING SALVAGE PLAN:

THE FORMER STRUCTURE WILL BE REMOVED FLUSH TO GRADE, RETAINING THE EXISTING SLAB-ON-GRADE, AND EXISTING SUB-GRADE UTILITIES CONNECTIONS.

ALL STRUCTURAL STEEL & SALVAGE METAL WILL BE RECYCLED.



January 30, 2025



4810 Lorain
Cleveland, Ohio

proposed Replacement Office

January 30, 2025

LANDMARKS PRESENTATION

Tommy Sullivan, owner, client
City of Cleveland, Landmarks Commission
Ms. Jessica Beam (Beam-Wymer)

Historic Ohio City Design Review Advisory
Committee

Daniel Musson
Maura Flaherty
Angelo Trivisonno
Christopher Persons
Margaret Lann
Julia Mettles Grove
Whitney Anderson
Brant Miller
Nia

THANK YOU



Case 25-001

Certificate of Appropriateness

Franklin-West Clinton Historic
District

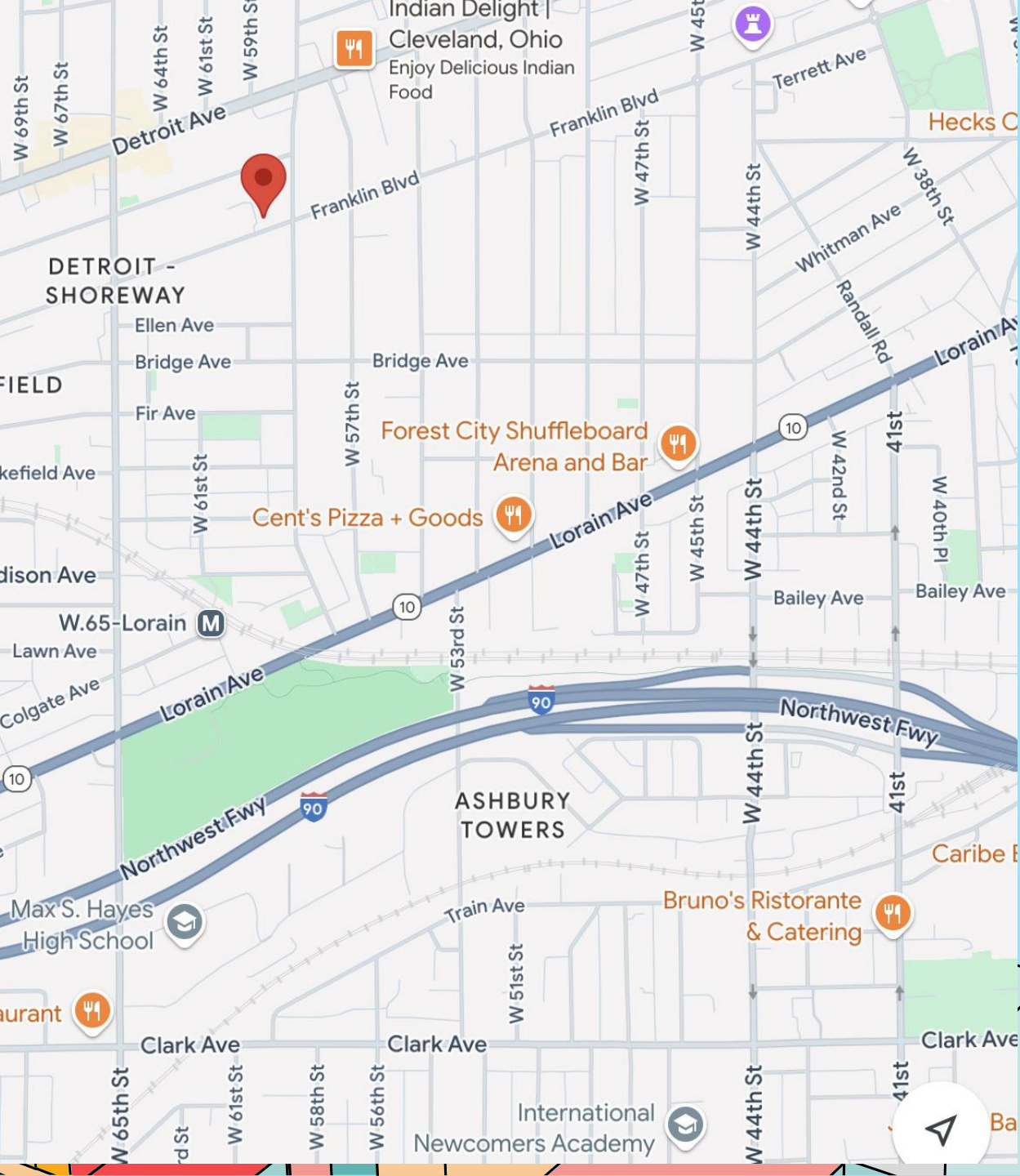
5810 Franklin Boulevard

Window Replacement

Project Representatives: Josh Walczuk, Universal Window Direct
Ward 15: Councilmember Spencer

Tabled January 23rd, 2025





**5810 FRANKLIN BLVD
CLEVELAND OHIO
44102**

**BY JOSH WALCZUK
WITH UNIVERSAL
WINDOWS DIRECT**



UNIVERSAL WINDOWS DIRECT

Quality Windows VINYL REPLACEMENT WINDOWS

Growing Strong and Always Giving Back

Every year, Universal Windows Direct has been moving up in the rankings of the **TOP 500** window companies nationwide.

550 remodeling

- 2022: 6th
- 2019: #7
- 2013: #14

Qualified Remodeler 500

- 2022: 4th
- 2019: #10
- 2015: #20
- 2012: #31
- 2008: #129

2

Quality Windows VINYL REPLACEMENT WINDOWS

The Advantages of Dealing with Universal Windows Direct

- We're local
- Double lifetime warranty
- Exclusive right to install UniShield
- Locations coast-to-coast

3

Quality Windows VINYL REPLACEMENT WINDOWS

All Spacers are Not Created Equally

When it's cold outside, metal type spacers can drain the energy of your high performance windows.

Space Age Technology:

SuperSpacer® uses acrylic bonding, a proven ultra-durable NASA and supersonic bonding aerospace technology. Acrylic bonding has long provided outstanding durable performance records during some of the most demanding conditions. As the primary structural seal of a dual seal system, the acrylic bond more than met the challenges of 140°F temperature with levels of 95% and 100% humidity and constant UV bombardment in what many engineers consider the world's toughest accelerated aging and durability test. The acrylic bonded SuperSpacer® has shown to have up to 5 times the life expectancy of single seal systems on the market today.

SuperSpacer® Reverse Dual Technology

20% of glass area affected by cold edge.

12

Quality Windows VINYL REPLACEMENT WINDOWS

True Lifetime Warranty

Universal Windows Direct warrants its products for as long as the original purchaser owns the property on the following components:

- All pieces, parts and materials
- Glass systems and frames
- All locks and hardware.
- All installation and labor.

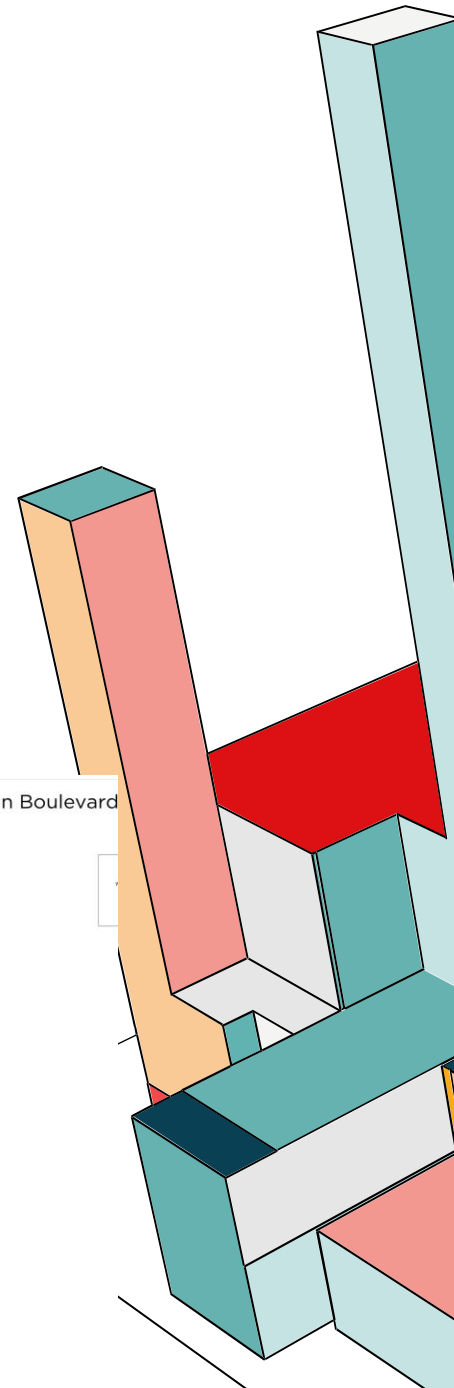
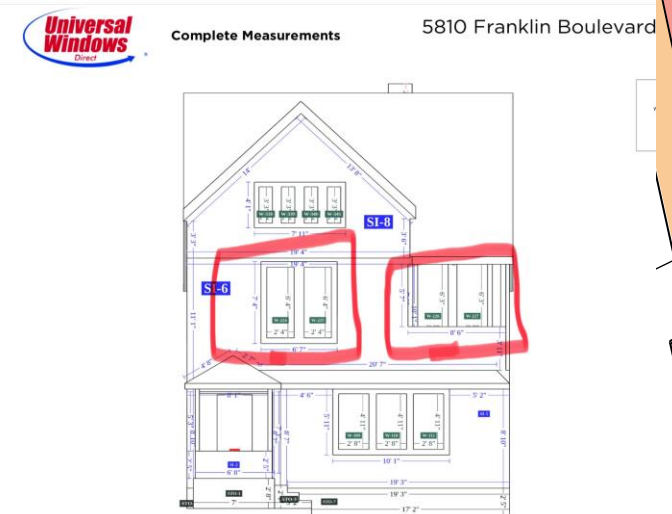
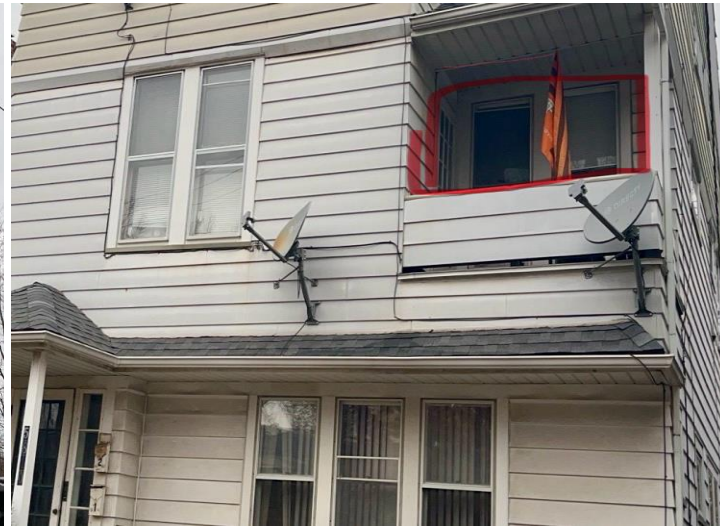
Terms and Conditions

Warranties from Universal Windows Direct are 100% non-prorated and 100% transferrable to a subsequent homeowner for a period of 20 years. Coverage excludes acts of nature and vandalism.

16

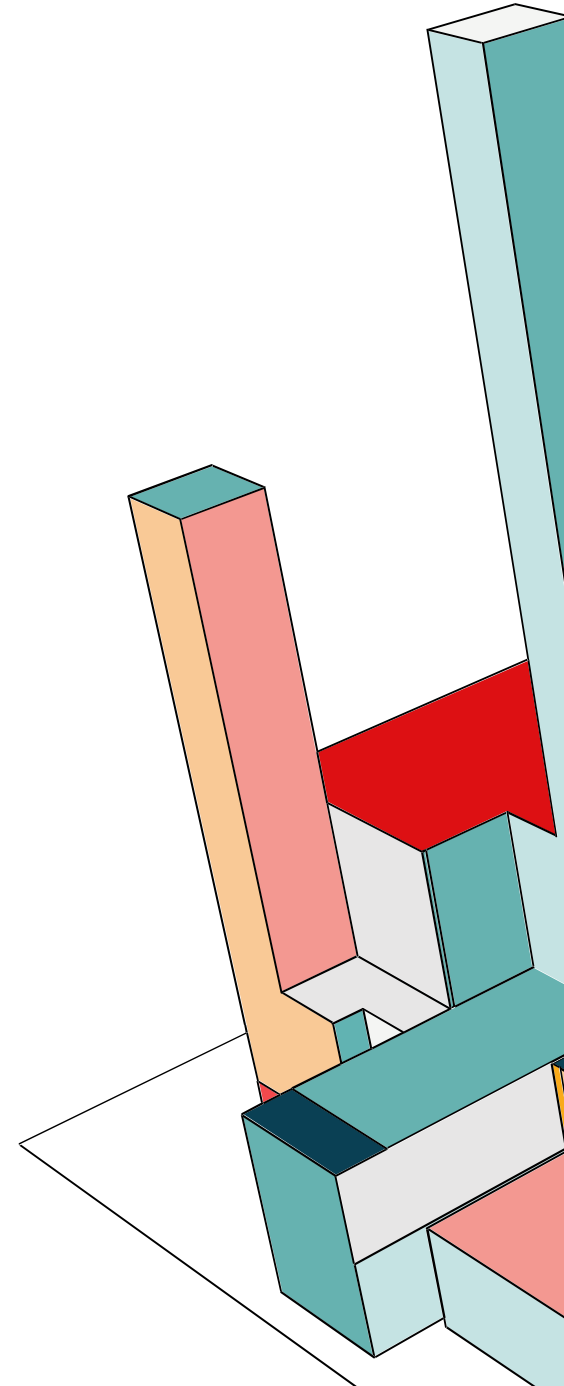
DOES IT MATCH THE NEIGHBORHOOD?

- Replacing 4 existing windows with 100% pure virgin vinyl Taylor fit custom replacements to match the existing openings and color.
- 2 of the windows are located on the 2nd level hallway of the property.
- 2 of the windows are located on the 2nd floor in the tenants unit causing high energy bills monthly.



- THE WINDOWS WILL BE WRAPPED WITH G8 PERFORMANCE ALUMINUM COIL FOR A CUSTOM CAP TO LOOK FLUSH WITH THE CURRENT EXTERIOR OF THE HOME.

- Example windows below,



-THE 4 WINDOWS WILL BE INSTALLED ON THE FRONT OF THE PROPERTY TO IMPROVE THE DRAFT IN THE EXISTING OPENINGS. THE WINDOWS ARE BEING INSTALLED IN THE HALLWAY ON THE 2ND FLOOR AND IN THE UPSTAIRS UNITS IN THE FRONT LIVING ROOM.

TO THE RIGHT ARE THE MEASUREMENTS OF THE WINDOW OPENINGS WE WILL BE DOING THE INSTALLATION FOR.



MATERIAL LIST WITH COLOR IMAGES

- All 4 windows will be white 100% pure virgin vinyl with a true life time warranty (100% non pro rated) and transferable to the next property owner for 20 years.
- Exterior will be capped with g8 performance coil with glacier white aluminum capping



WHAT IT COULD LOOK LIKE IF APPROVED!

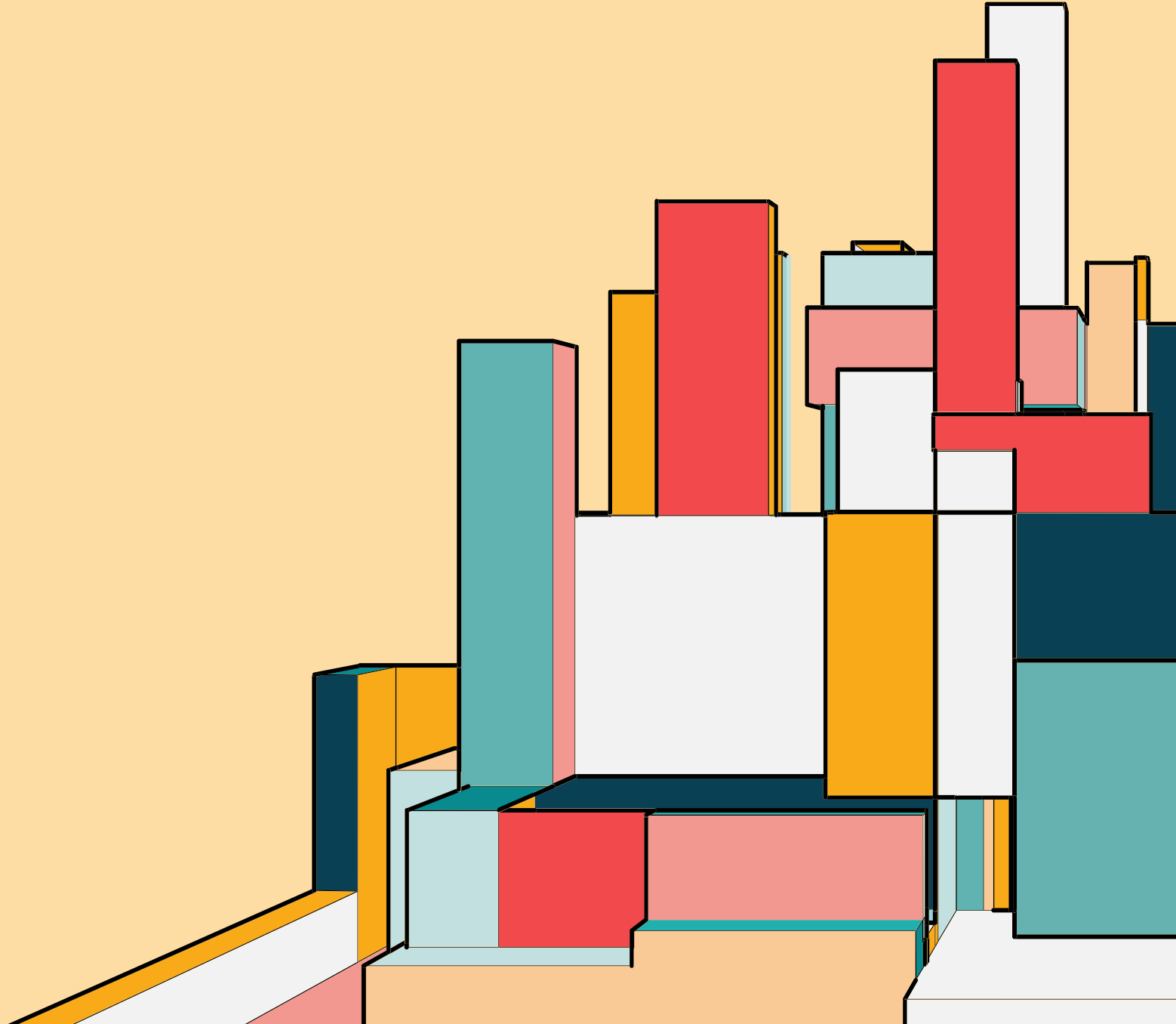


THANK YOU

Josh Walczuk

330-321-6252

Josh.walczuk@uwdtba.com





CITY OF CLEVELAND
Mayor Justin M. Bibb

Schematic Plan Review

February 13, 2025



Case 24-092

Concept/Schematic Plan

Stager-Beckwith House
(University Club)

Previous
Concept/Schematic
Review completed
December 12, 2024

Children's Museum of Cleveland 3813 Euclid Avenue

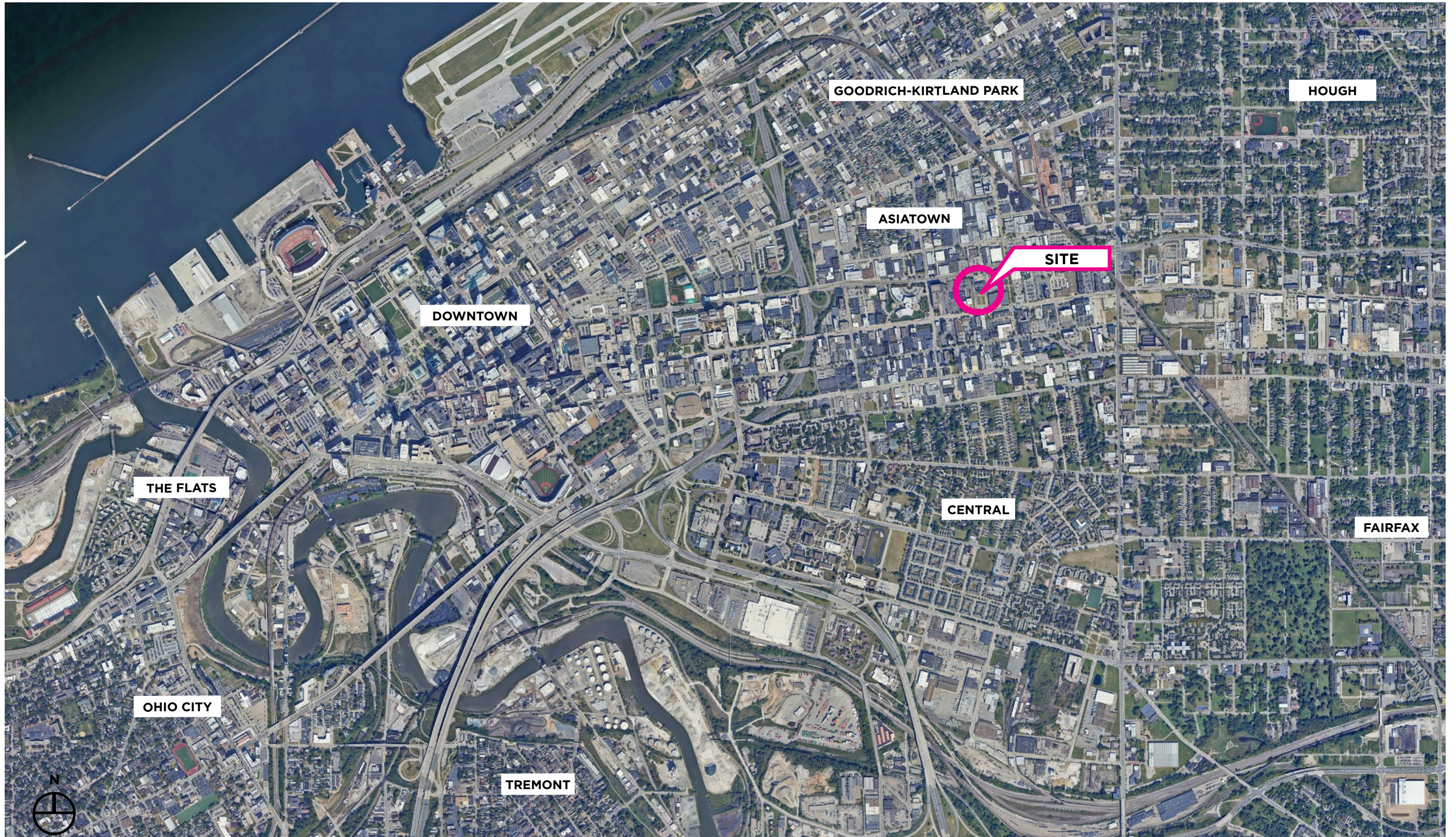
Addition

Project Representatives: Kaitlyn Boniecki, AODK, Inc.
Ward 7: Councilmember Howse-Jones



THE CHILDREN'S MUSEUM OF CLEVELAND

SERVICE & CONNECTOR ADDITION
SCHEMATIC DESIGN REVIEW
JANUARY 30TH, 2025





MASONIC
AUDITORIUM

AMERICAN
RED CROSS

JANE EDNA HUNTER
SOCIAL SERVICES
CENTER

NEORS

OHIO
CONNECTIONS
ACADEMY

ALBERT M.
HIGLEY CO.

CMC | CONNECTOR ADDITION

SITE CONTEXT PLAN

NOT TO SCALE

01/30/2025



VIEW OF FRONT ENTRY



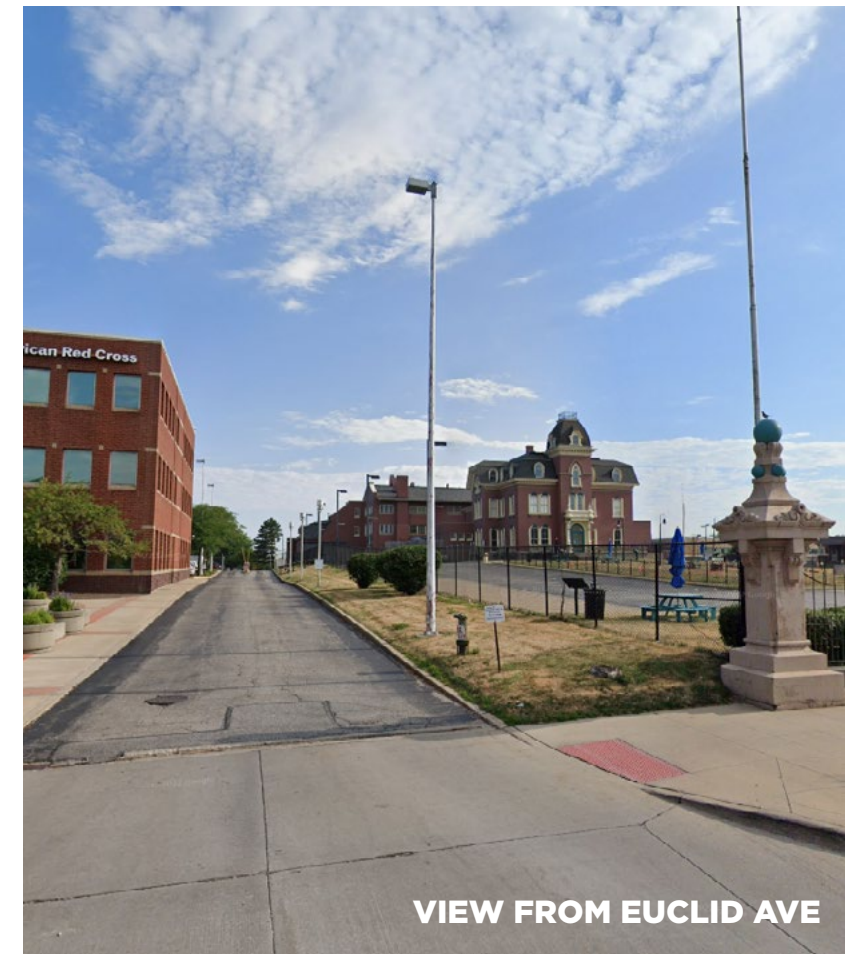
VIEW FROM NEIGHBOR



VIEW OF UTILITY AREA



VIEW OF STORAGE SHED



VIEW FROM EUCLID AVE



VIEW FROM CHESTER AVE



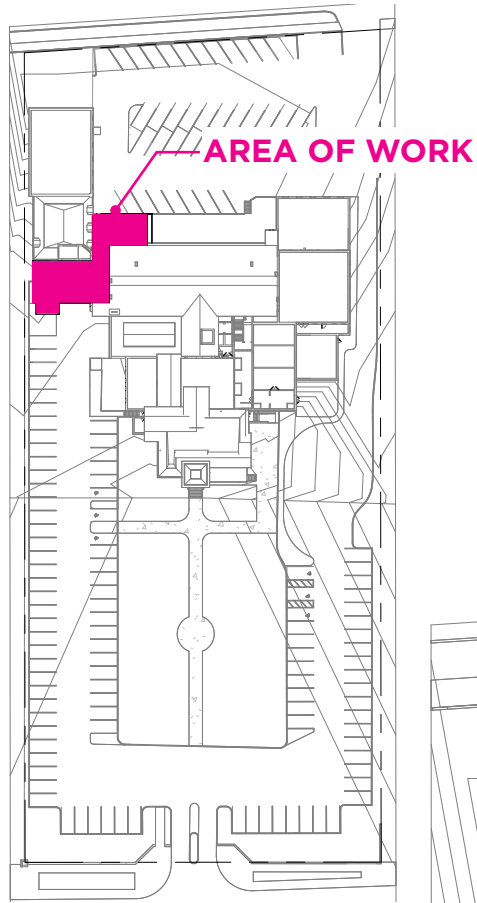
VIEW OF CORNER



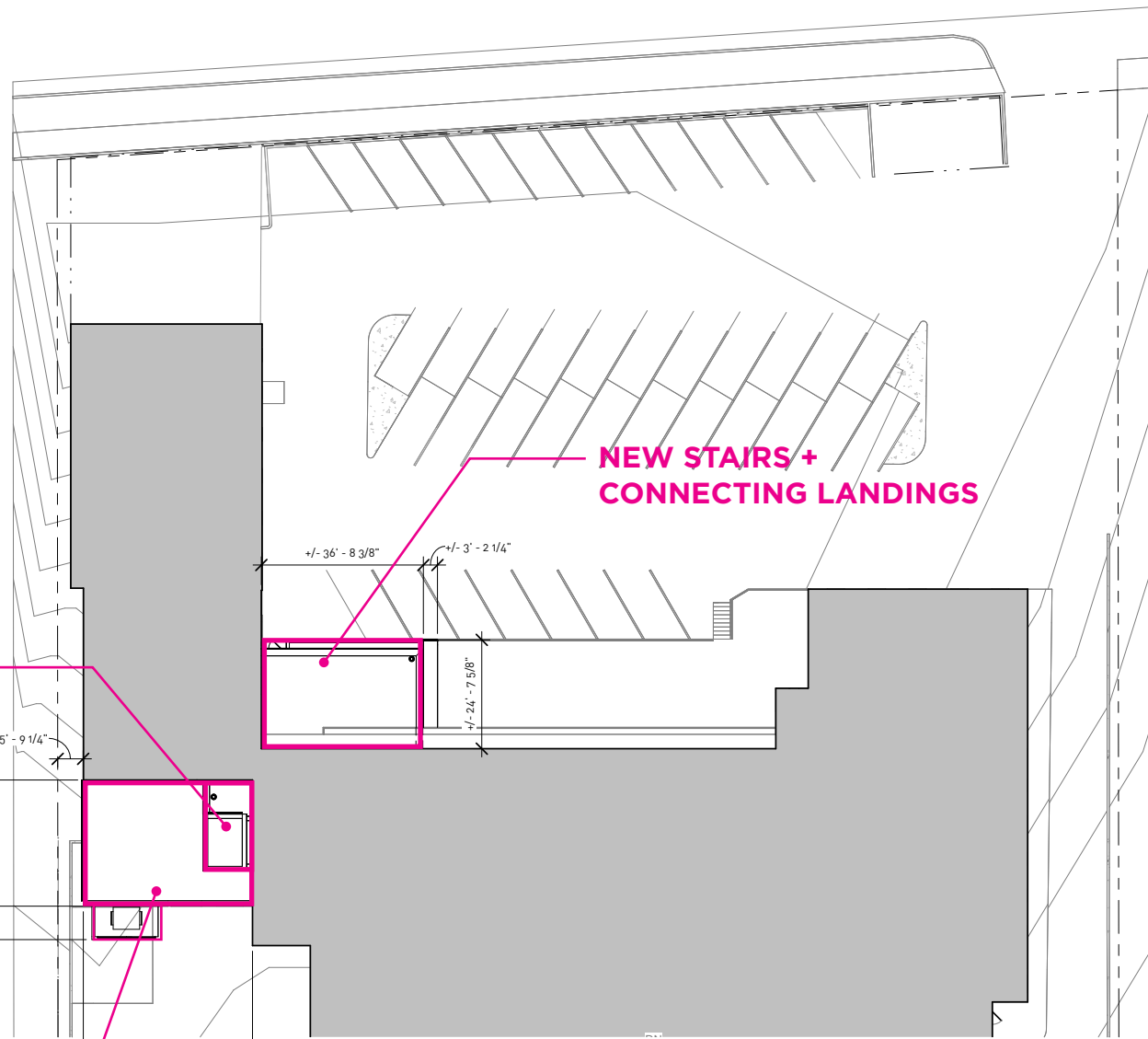
VIEW OF REAR TERRACE



VIEW OF EXISTING CONNECTING STAIR TOWER



AREA OF WORK

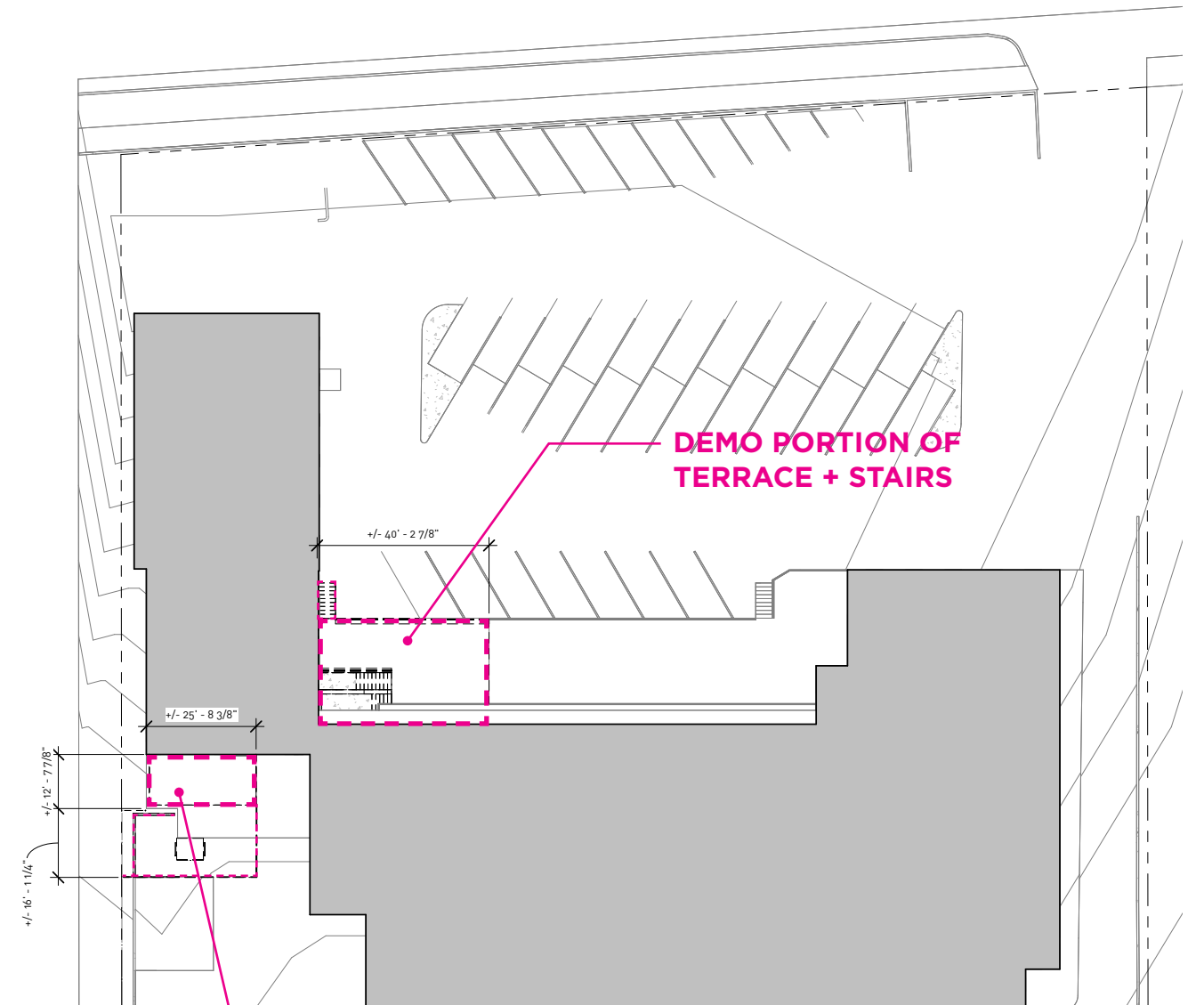


NEW ELEVATOR

NEW STAIRS +
CONNECTING LANDINGS

NEW SERVICE SPACES
(RESTROOM, STORAGE, EGRESS CORRIDOR,
DUMPSTER ENCLOSURE)

PROPOSED SITE PLAN



DEMO STORAGE SHED +
DUMPSTER ENCLOSURE

DEMO PORTION OF
TERRACE + STAIRS

DEMOLITION SITE PLAN



PROPOSED PLANT LIST (LOWER LEVEL PLANTER)

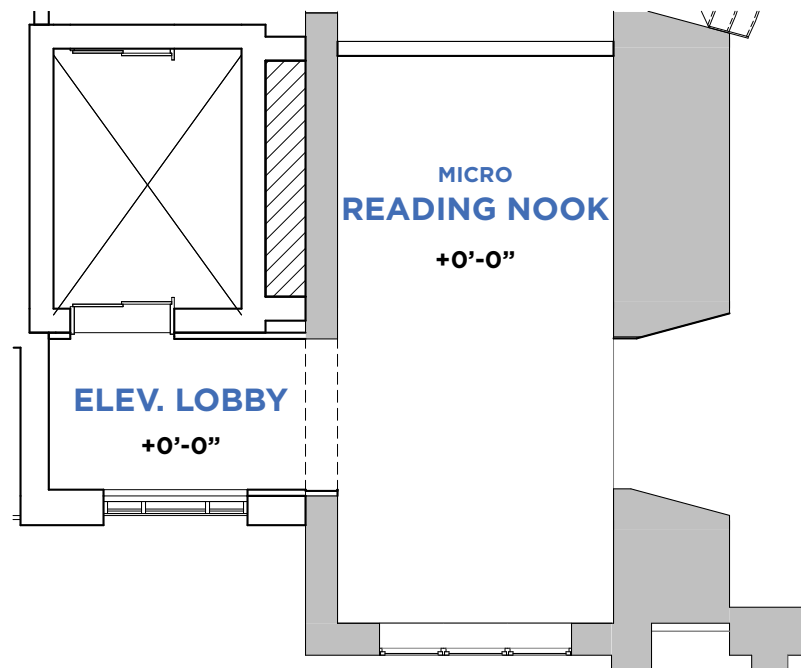


BUXUS 'GREEN VELVET' / GREEN VELVET BOXWOOD

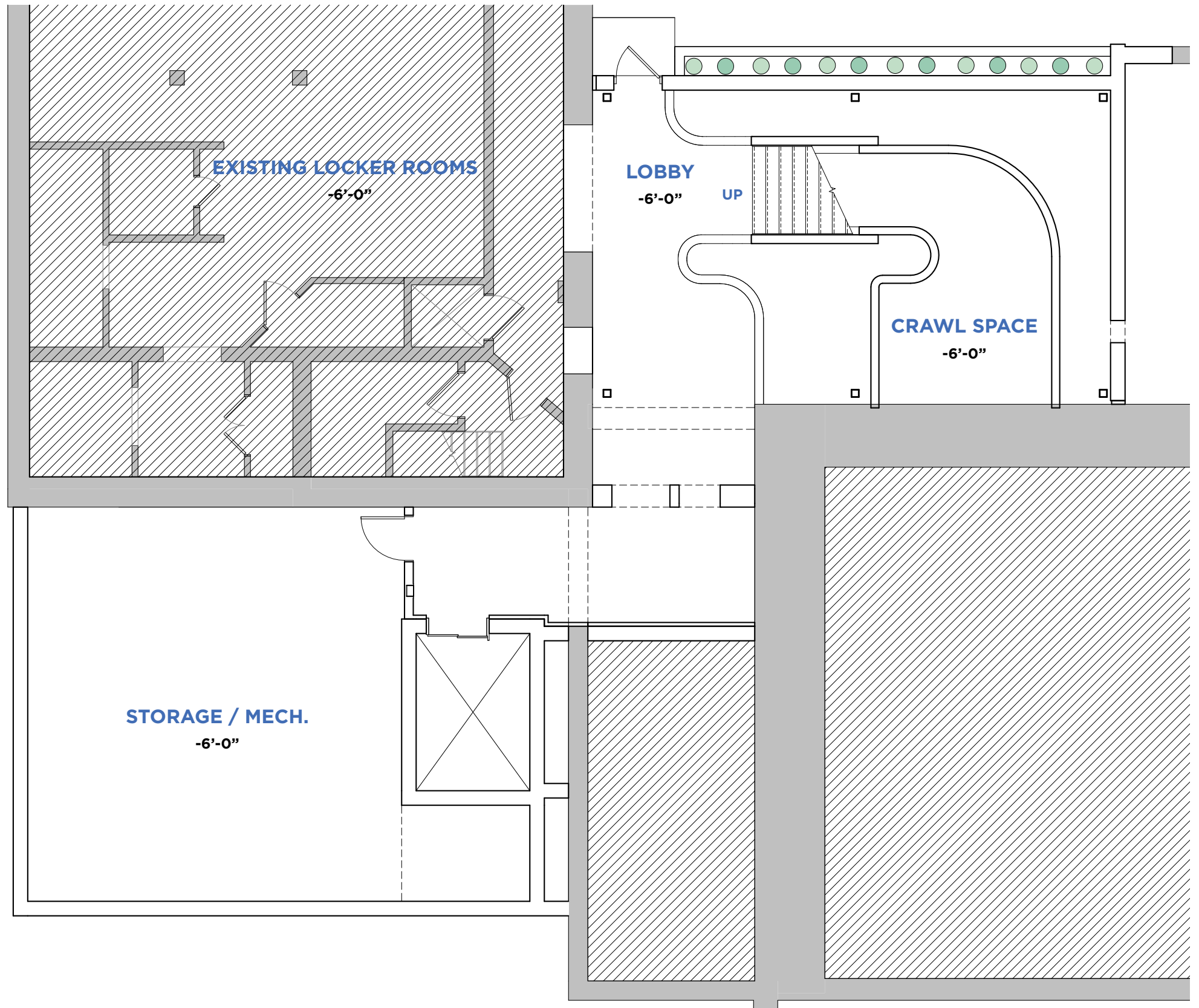
SIZE: #3 FOR INSTANT IMPACT, #1 FOR BUDGET

SPACING: 24" ON CENTER

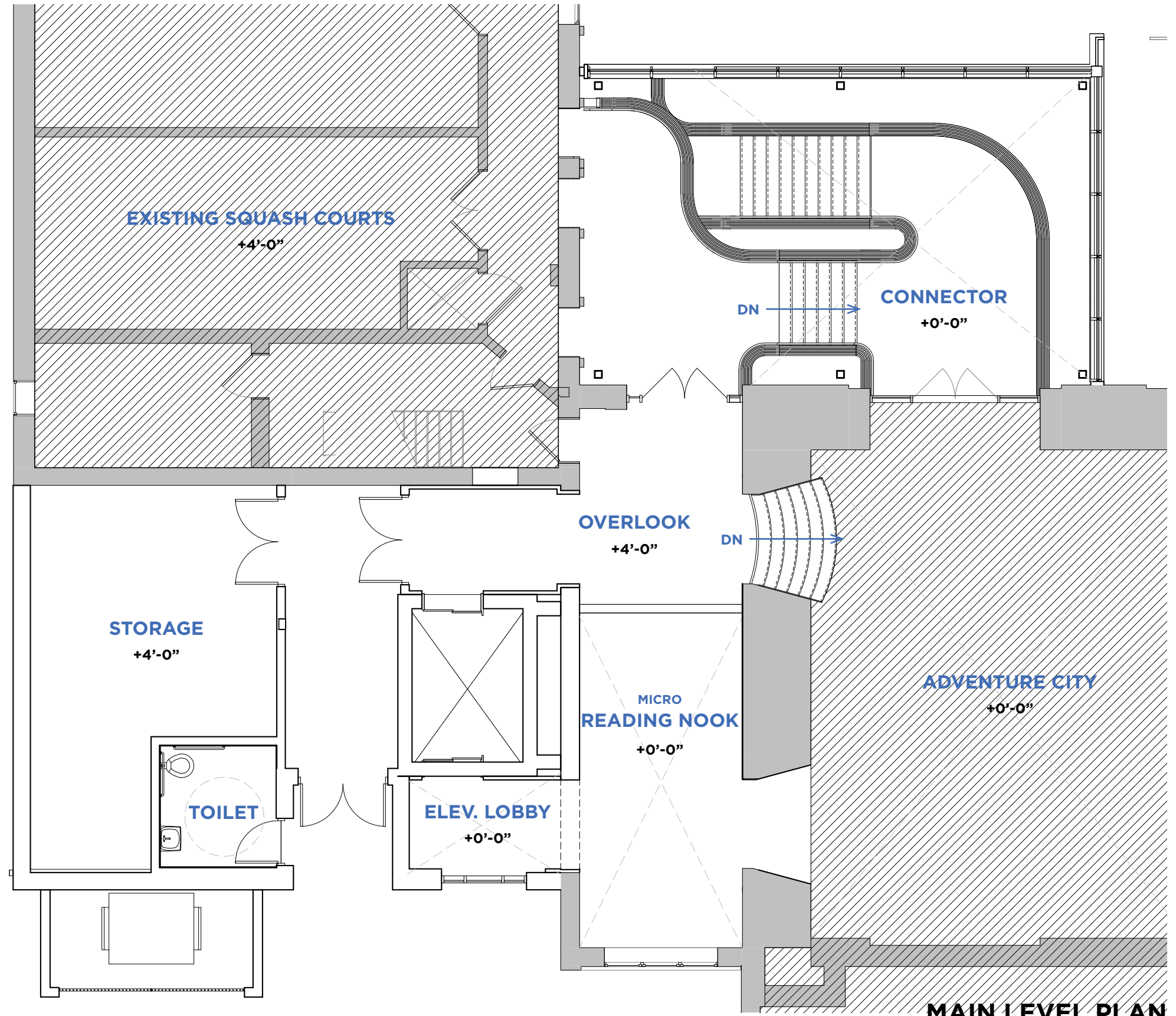
QUANTITY: 13



ADVENTURE CITY LOBBY

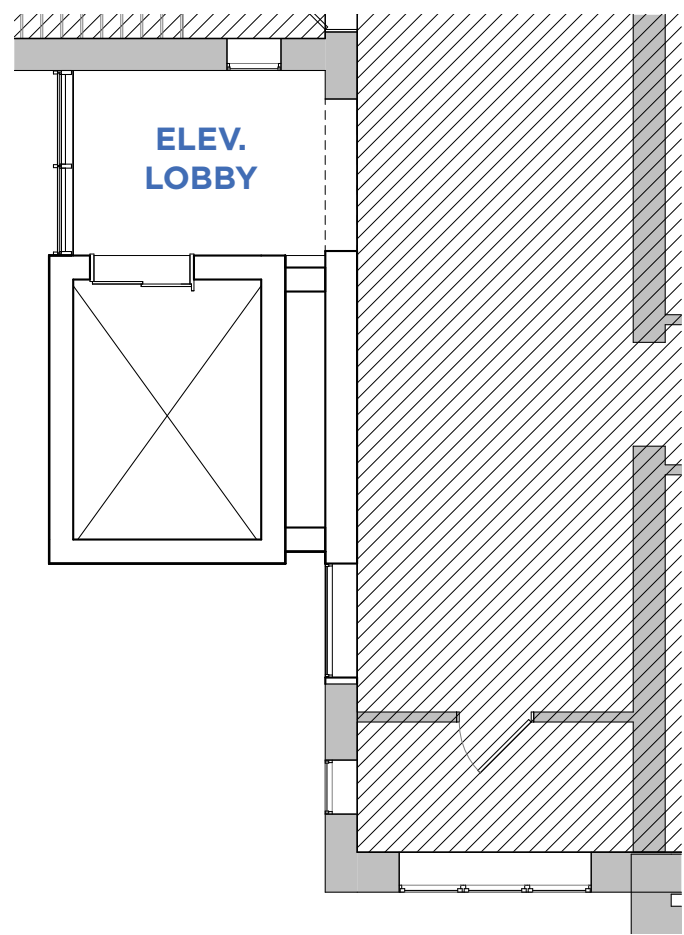


LOWER LEVEL PLAN

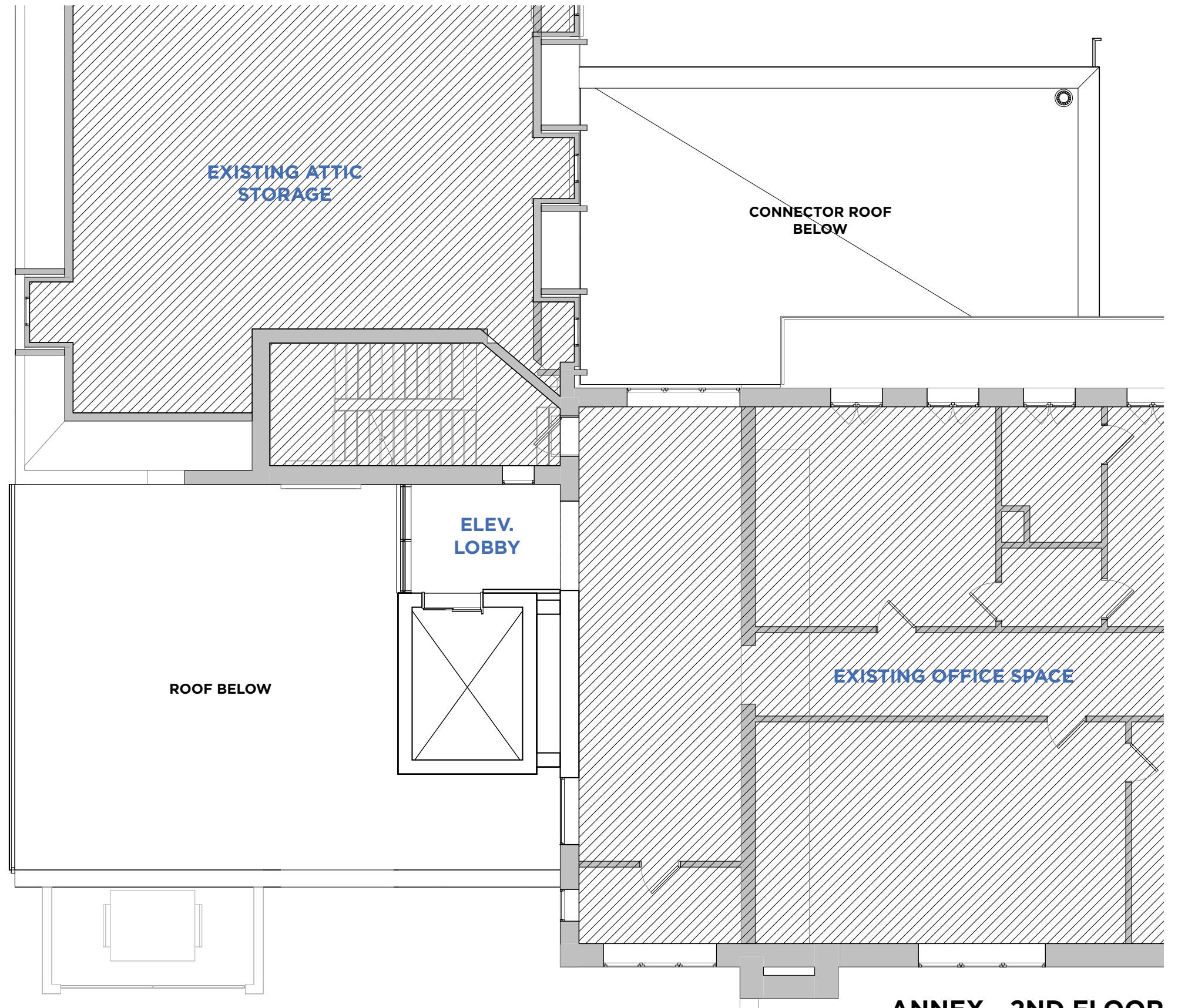


MAIN LEVEL PLAN

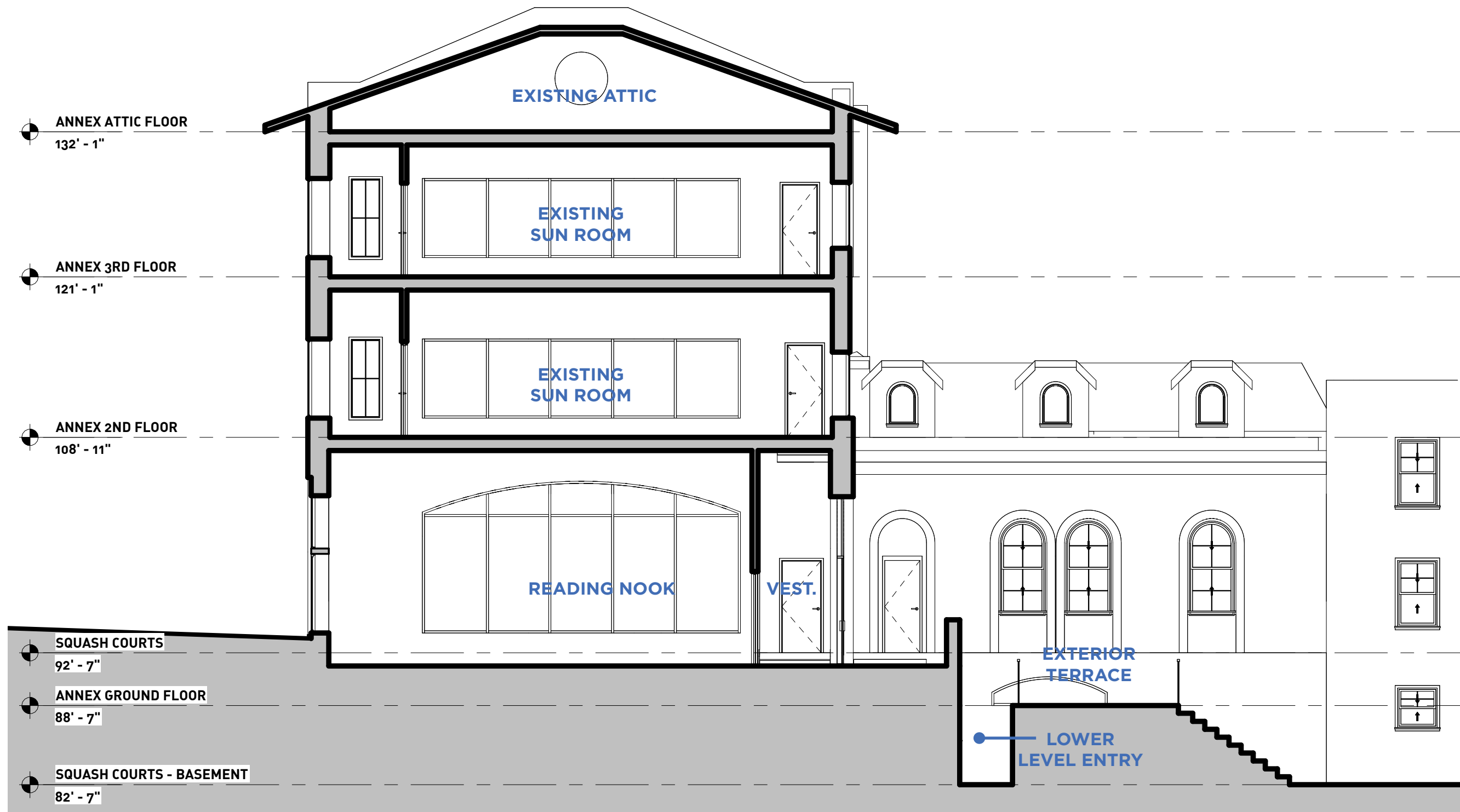
CMC | CONNECTOR ADDITION
 MAIN LEVEL PLAN



ANNEX - 3RD FLOOR



ANNEX - 2ND FLOOR



T.O. ELEV. TOWER
142' - 6"

ANNEX ATTIC FLOOR
132' - 1"

ANNEX 3RD FLOOR
121' - 1"

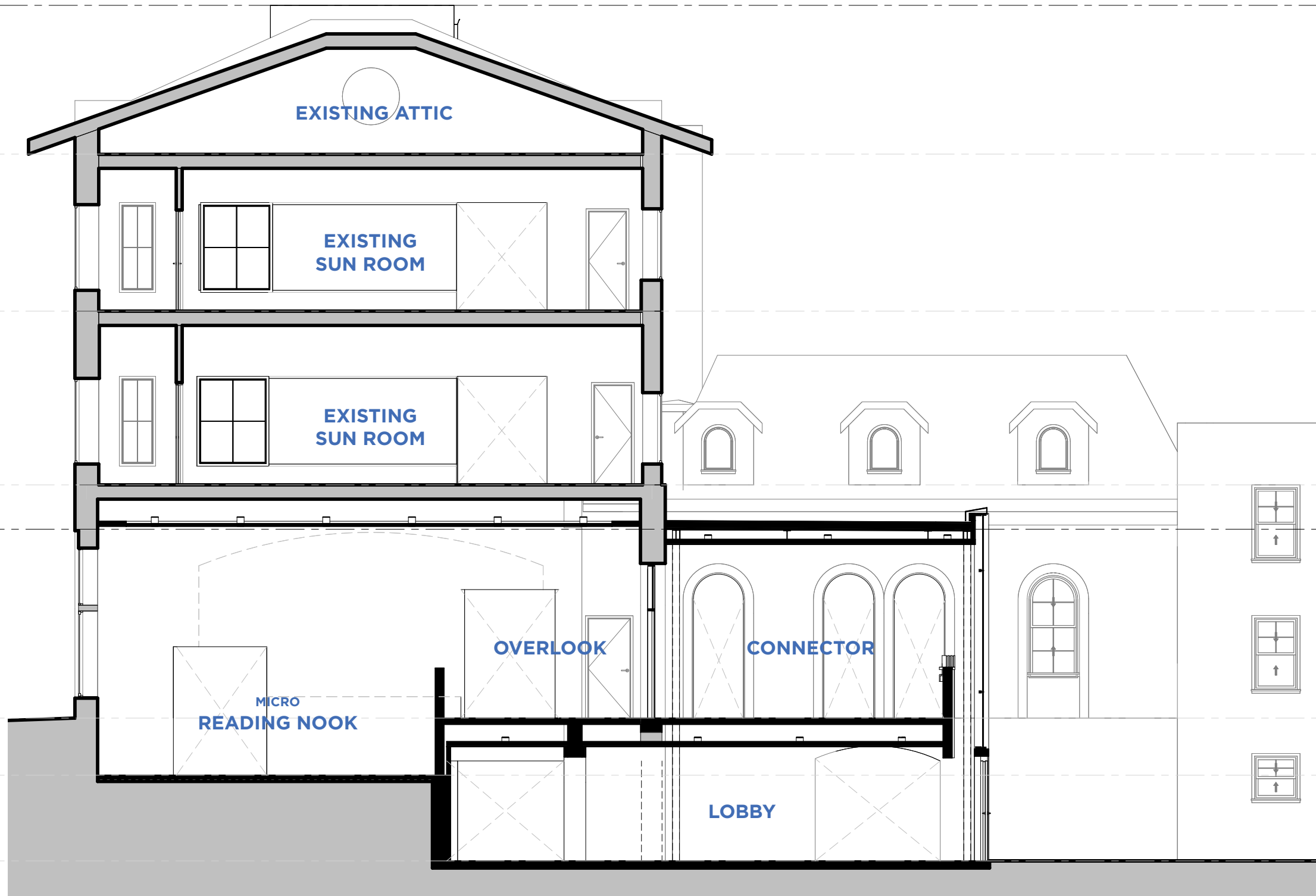
ANNEX 2ND FLOOR
108' - 11"

B.O. REAR CONNECTOR ROOF
105' - 9 3/4"

SQUASH COURTS
92' - 7"

ANNEX GROUND FLOOR
88' - 7"

SQUASH COURTS - BASEMENT
82' - 7"





**PARGE COAT OVER CMU,
PAINTED "TEAL"**

**CMC BRANDING
GRAPHIC OR PAINTED**

NEW WINDOWS

**BRICK, PAINTED TO
MATCH EXISTING**

**CURTAIN WALL SYSTEM,
MULLIONS PAINTED "TAN"**

**FIBER CEMENT,
PAINTED "TAN"**

T.O. ELEV. TOWER
142' - 6"

T.O. ELEV. TOWER
142' - 6"

ANNEX ATTIC FLOOR
132' - 1"

ANNEX ATTIC FLOOR
132' - 1"

ANNEX 3RD FLOOR
121' - 1"

ANNEX 3RD FLOOR
121' - 1"

ANNEX 2ND FLOOR
108' - 11"

ANNEX 2ND FLOOR
108' - 11"

T.O. SERVICE ADD.
106' - 7"

T.O. SERVICE ADD.
106' - 7"

SQUASH COURTS
92' - 7"

SQUASH COURTS
92' - 7"

SIDE ELEVATION

FRONT ELEVATION





**CURTAIN WALL SYSTEM,
MULLIONS PAINTED "TAN"**

